



Incorporated 1787

Conservation Commission

INLAND WETLANDS AND WATERCOURSES APPLICATION

This Application is for a five-year permit to conduct a regulated activity or activities pursuant to the Inland Wetlands and Watercourses Regulations of the Town of Weston ("The Regulations")

PROPERTY ADDRESS: 120 Georgetown Road

Assessor's Map # 3 Block # 1 Lot # 20

PROJECT DESCRIPTION (general purpose) Proposed development of a 4 bedroom style family dwelling, septic system, well, driveway and grading

Total Acres 2.15 Total Acres of Wetlands and Watercourses 1.05

Acreage of Wetlands and Watercourses Altered 0 Upland Area Altered 0.39 ac.

Acres Linear Feet of Stream Alteration 0 Total Acres Proposed Open Space 0

OWNER(S) OF RECORD: (Please list all owners, attach extra sheet if necessary)

Name: Weston ± LLC Phone: _____

Address: 205 Willow Brook Ave, Stamford, CT 06902

Email: _____

APPLICANT/AUTHORIZED AGENT:

Name: Todd & Helene Blinder Phone: 1-561-703-4150

Address: 211 Clairemont Terrace, Orange NJ 07050

Email: HeleneofFlorida@yahoo.com

CONSULTANTS: (Please provide, if applicable)

Engineer: CT Consulting Engineers, LLC Phone: 203-639-8636

Address: 1 Prestige Dr., Suite 100 Email: jgabel4451@gmail.com
Meriden, CT

Soil Scientist: Matt Davison Phone: 860-836-6576

Address: _____ Email: _____

Legal Counsel: _____ Phone: _____

Address: _____ Email: _____

Surveyor: Scott D. Poryada
CT Consulting Engineers LLC Phone: 203-639-8636

Address: 1 Prestige Dr. Suite 110 Email: jjsobel 4451 @ gmail.com
Mentden CT

PROPERTY INFORMATION

Property Address: 120 Georgetown Rd, Weston, CT

Existing Conditions (Describe existing property and structures): vacant land

Provide a detailed description and purpose of proposed activity (attach sheet with additional information if needed): see attachment

Is this property within a subdivision (circle): Yes or No
Square feet of proposed impervious surfaces (roads, buildings, parking, etc.): 6,572 SF

Subject property to be affected by proposed activity contains:

- wetlands soils
- swamp
- floodplain
- marsh
- bog
- lake or pond
- stream or river Brook
- other _____

The proposed activity will involve the following within wetlands, watercourse, and/or review area:

- Alteration
- Discharge to
- Removal of Materials
- Construction
- Discharge from
- Deposition of Materials
- Pollution
- Bridge or Culvert
- Other _____

Amount, type, and location of materials to be removed, deposited, or stockpiled:
25 cy, fill to be stockpiled and deposited onsite.

Description, work sequence, and duration of activities:
see attachment for description and work sequence. Duration = approx. 6 months.

Describe alternatives considered and why the proposal described herein was chosen:
None due to the wetland areas, septic area and zoning requirements. There is only a small limited area of a proposed septic system.

Does the proposed activity involve the installation and/or repair of an existing septic system(s) (circle) Yes or No

The Westport/Weston Health District Approval: 2/3/22

ADJOINING MUNICIPALITIES AND NOTICE:

N/A

If any of the situations below apply, the applicant is required to give written notice of his/her application to the Inland Wetlands Agency of the adjoining municipality, on the same day that he/she submits this application. Notification must be sent by Certified Mail with Return Receipt Requested.

The property is located within 500 feet of any town boundary line;

A significant portion of the traffic to the completed project will use streets within the adjoining municipality to enter or exit the site;

A portion of the water drainage from the project site will flow through and significantly impact the sewage system or drainage systems within the adjoining municipality; or

Water runoff from the improved site will impact streets or other municipal or private property within the adjoining municipality

AQUARION WATER COMPANY

N/A

Pursuant to Section 8.4 of the Weston regulations, the Aquarion Water Company must be notified of any regulated activity proposed within its watersheds. Maps showing approximate watershed boundaries are available at the office of the Commission. If the project site lies within these boundaries, send notice, site plan, and grading and erosion control plan via certified mail, return receipt requested, within seven (7) days of submitting application to the Commission, to:

George S. Logan, Director – Environmental Management
Aquarion Water Company
714 Black Rock Turnpike
Easton, CT 06612

The Commissioner of the Connecticut Department of Public Health must also be notified in the same manner in a format prescribed by that commissioner.

The undersigned, as owner(s) of the property, hereby consents to necessary and proper inspections of the above mentioned property by Commissioners and agents of the Conservation Commission, Town of Weston, at reasonable times, both before and after a final decision has been issued by the Commission.

The undersigned hereby acknowledges to have read the "Application Requirements and Procedures" in completing this application.

The undersigned hereby certifies that the information provided in this application, including its supporting documentation is true and he/she is aware of the penalties provided in Section 22a-376 of the Connecticut General Statutes for knowingly providing false or misleading information.

Signature of Owner(s) of Record

Date

Handwritten signatures: Helen Bl... and LMB

03/16/2022

Signature of Authorized Agent

Date

FOR OFFICE USE ONLY

Administrative Approval

Initials

Date

**Parcel ID: 3-1-29
Nature Conservancy INC
55 Church Street
New Haven CT, 06510**

**Parcel ID: 3-1-50
Nicholas J & Maureen G Malino
126 Georgetown Road
Weston CT, 06883**

**Parcel ID: 3-1-53 + 56
Wildlife In Crisis INC
44 Indian Valley Road
Weston CT, 06883**

**Parcel ID: 3-1-21
George Frank
4 Sasqua Pond Road
Norwalk CT, 06855**

**Parcel ID: 3-1-22
Joan E Frank
PO Box 3329
Weston CT, 06880**

**Parcel ID: 3-1-19
August Lenhart
205 Willowbrook Avenue
Stanford CT, 06902**



Doc ID: 001427790002 Type: LAN

BK 561 PG 522-523

2/58
1:10pm

Return receipt
Law Office of Albert T. Strazza
883 Blackrock Turnpike
Fairfield, CT 06825

Connecticut Quit-Claim Deed

TO ALL PEOPLE TO WHOM THESE PRESENTS SHALL COME, GREETING:

KNOW YE THAT AUGUST LENHART, of 205 WILLOWBROOK AVENUE, STAMFORD, CT, 06902 ("Releasor"), for the consideration of One and 00/100 (\$1.00) Dollar and other value received to her full satisfaction of WESTON I, LLC ("Releasee"), a Connecticut limited liability company with a business address of 205 WILLOWBROOK AVENUE, STAMFORD, CT, 06902 do remise, release and forever QUIT-CLAIM unto the said Releasee, all the right, title, interest, claim and demand whatsoever as the said Releasor have or ought to have in or to the following:

Those certain premises known as 120 Georgetown Road, Weston, Connecticut, see Schedule A attached hereto and made a part hereof for a more particular description thereof.

Being the same premises conveyed to Grantor herein by that certain Deed dated March 1, 2005 and recorded on April 26, 2005 in Volume 413 at Page 33 of the Weston Land Records.

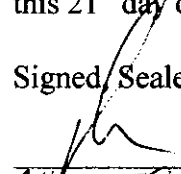
Said premises are conveyed subject to the following:

1. Any and all provisions of any ordinance, municipal regulation or public or private law, inclusive of zoning, building, and planning laws, rules and regulations as established in and for the Town of Weston.
2. Taxes due to the Town of Weston, which become due and payable after the date of the delivery of this deed, which the buyers hereby agrees to assume and pay as part of the consideration herein.

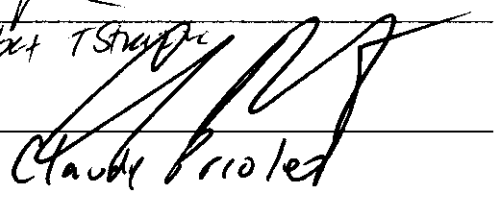
TO HAVE AND TO HOLD the premises, with all the appurtenances, unto the said Releasee, its successors and assigns forever, so that neither the Releasor nor his heirs, nor successors nor any other person under them shall hereafter have any claim, right or title in or to the premises, or any part thereof, but therefrom they are by these presents forever barred and excluded.

IN WITNESS WHEREOF, Grantor has hereunto set her hands, name and seal, this 21st day of August, 2014.


Signed, Sealed and Delivered in presence of:



 Albert T. Strazza



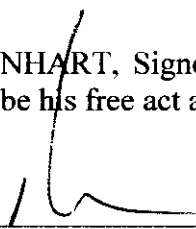
 Claudia Prioleo




 AUGUST LENHART

STATE OF CONNECTICUT)
) ss.: Greenwich August 21, 2014
 COUNTY OF FAIRFIELD)

Personally appeared AUGUST LENHART, Signer and Sealer of the foregoing Instrument, and acknowledged the same to be his free act and deed before me.



 Albert T. Strazza, Notary Public, Comm. Exp. 11/30/2016

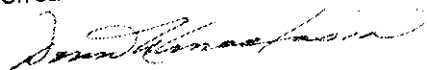

 TOWN OF WESTON TAX \$
 CONVEYANCE TAX RECEIVED
 STATE OF CT TAX \$

**SCHEDULE A
PROPERTY DESCRIPTION**

All that certain piece or parcel of land, together with the buildings and improvements thereon, situated in the Town of Weston, County of Fairfield and State of Connecticut, known and designated as Lot No. 2, on a certain map entitled, "Map of Property Prepared for Betty Purdy, Weston, Connecticut, Scale: 1 in. = 40 ft., Dec. 19, 1975, Revised Feb. 24, 1976, by Leonard Surveyors," and on file in the Weston Town Clerk's Office as Map No. 2393.

Commonly known as: 120 Georgetown Road, Weston, Connecticut

Received for Record at WESTON, CT
On 08/22/2014 At 1:10:00 pm

A handwritten signature in black ink, appearing to read "Joseph A. ...", is written over the printed text of the recording stamp.

2393

2393



NOTE
 THIS IS NOT A RESUBDIVISION AS DEFINED
 IN SECTION 8-18 OF THE CONN. GENERAL
 STATUTES.

TOTAL AREA =
167,178 SQ. FT. OR 3.8378 AC.

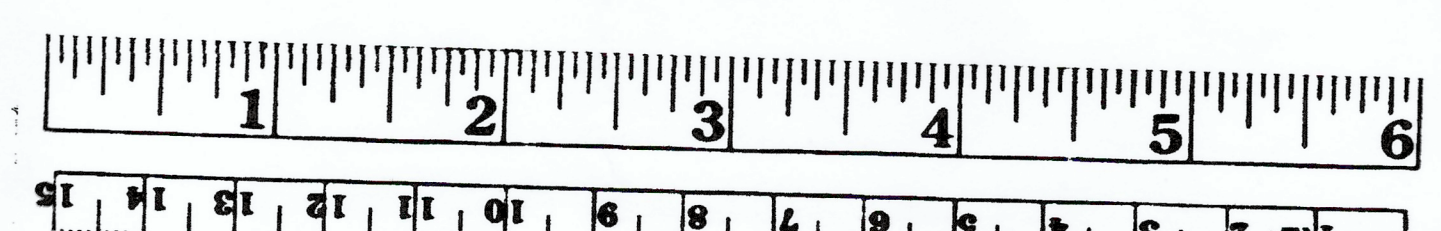
"CERTIFIED SUBSTANTIALLY CORRECT"
 Edward G. Shaughnessy
 EDWARD G. SHAUGHNESSY, L.S.
 CONN. REG. NO. 6407

2393

RECEIVED ON FILE IN THE
 WESTON TOWN CLERK'S OFFICE
 AT Weston, Conn. Dec. 2, 1975
Edward G. Shaughnessy
 TOWN CLERK
 FILE NO. 2393

MAP
 OF PROPERTY PREPARED FOR
BETTY PURDY
WESTON, CONNECTICUT
 SCALE: 1" = 40' DEC. 19 1975
 REVISED 2-24-76
 by **LEONARD SURVEYORS**

2393



STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

Pursuant to section 22a-39(m) of the General Statutes of Connecticut and section 22a-39-14 of the Regulations of Connecticut State Agencies, inland wetlands agencies must complete the Statewide Inland Wetlands & Watercourses Activity Reporting Form for **each** action taken by such agency.

This form may be made part of a municipality's inland wetlands application package. If the municipality chooses to do this, it is recommended that a copy of the Town and Quadrangle Index of Connecticut and a copy of the municipality's subregional drainage basin map be included in the package.

Please remember, the inland wetlands agency is responsible for ensuring that the information provided is **accurate** and that it reflects the **final** action of the agency. Incomplete or incomprehensible forms will be mailed back to the agency. Instructions for completing the form are located on the following pages.

The inland wetlands agency shall mail completed forms for actions taken during a calendar month no later than the 15th day of the following month to the Department of Energy and Environmental Protection (DEEP). Do **not** mail this cover page or the instruction pages. Please mail **only the completed** reporting form to:

DEEP Land & Water Resources Division
Inland Wetlands Management Program
79 Elm Street, 3rd Floor
Hartford, CT 06106

Questions may be directed to the DEEP's Inland Wetlands Management Program at (860) 424-3019.

INSTRUCTIONS FOR COMPLETING THE STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

Use a separate form to report EACH action taken by the Agency. Complete this electronic fill-in form as described below. If completing by hand please print and use the [pdf version](#). Do NOT submit a reporting form for withdrawn actions.

PART I: Must Be Completed By The Inland Wetlands Agency

1. Choose the year and month the Inland Wetlands Agency took the action being reported. If multiple actions were taken regarding the same project or activity then multiple forms need to be completed.
2. Choose ONE code letter to describe the final action or decision taken by the Inland Wetlands Agency. Do NOT submit a reporting form for withdrawn actions. Do NOT enter multiple code letters (for example, if the same project or activity had both a permit issued and enforcement action, submit two forms for the two separate actions).
 - A** = A Permit Granted by the Inland Wetlands Agency (not including map amendments, see code D below)
 - B** = Any Permit Denied by the Inland Wetlands Agency
 - C** = A Permit Renewed or Amended by the Inland Wetlands Agency
 - D** = A Map Amendment to the Official Town Wetlands Map - or -
An Approved/Permitted Wetland or Watercourse Boundary Amendment to a Project Site Map
 - E** = An Enforcement Action: Permit Revocation, Citation, Notice of Violation, Order, Court Injunction, or Court Fines
 - F** = A Jurisdictional Ruling by the Inland Wetlands Agency (activities "permitted as of right" or activities considered non-regulated)
 - G** = An Agent Approval pursuant to CGS 22a-42a(c)(2)
 - H** = An Appeal of Agent Approval Pursuant to 22a-42a(c)(2)
3. Check "yes" if a public hearing was held in regards to the action taken; otherwise check "no".
4. Enter the name of the Inland Wetlands Agency official verifying that the information provided on this form is accurate and that it reflects the FINAL action of the agency.

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant - If Part II is completed by the applicant, the applicant MUST return the form to the Inland Wetlands Agency. The Inland Wetlands Agency MUST ensure that the information provided is accurate and that it reflects the FINAL action of the Agency.

5. Enter the name of the municipality for which the Inland Wetlands Agency has jurisdiction and in which the action/project/activity is occurring.

Check "yes" if the action/project/activity crosses municipal boundaries and enter the name(s) of the other municipality(ies) where indicated. Check "no" if it does not cross municipal boundaries.

6. Enter the USGS Quad Map name or number (1 through 115) as found on the CT Town and Quadrangle Index Map (the directory to all USGS Quad Maps) that contains the location of the action/project/activity. USGS Quad Map information is available at: <https://portal.ct.gov/-/media/deep/gis/resources/IndexNamedQuadTownpdf.pdf>

ALSO enter the four-digit identification number of the corresponding Subregional Drainage Basin in which the action/project/activity is located. If located in more than one subregional drainage basin, enter the number of the basin in which the majority of the action/project/activity is located. Town subregional drainage basin maps can be found at UConn CLEAR's website: http://clear.uconn.edu/data/map_set/index.htm (no roads depicted) or at CTECO: http://www.cteco.uconn.edu/map_catalog.asp (depicts roads, choose town and a natural drainage basin map).

7. Enter the name of the individual applying for, petitioning, or receiving the action.
8. Enter the name and address or location of the action/project/activity. Check if the action/project/activity is TEMPORARY or PERMANENT in nature. Also provide a brief DESCRIPTION of the action/project/activity. It is always best to provide as much information as possible (for example, don't state "forestry," provide details such as "20 acre forest harvest, permit required for stream crossing.")

9. Carefully review the list below and enter ONLY ONE code letter which best characterizes the action/project/activity. All state agency projects must code "N."

- | | |
|--|--|
| A = Residential Improvement by Homeowner | I = Storm Water / Flood Control |
| B = New Residential Development for Single Family Units | J = Erosion / Sedimentation Control |
| C = New Residential Development for Multi-Family / Condos | K = Recreation / Boating / Navigation |
| D = Commercial / Industrial Uses | L = Routine Maintenance |
| E = Municipal Project | M = Map Amendment |
| F = Utility Company Project | N = State Agency Project |
| G = Agriculture, Forestry or Conservation | P = Other (this code includes the approval of concept, subdivision or similar plans with no-on-the-ground work) |
| H = Wetland Restoration, Enhancement, Creation | |

10. Enter between one and four code numbers to best characterize the action/project/activity being reported. Enter "NA" if this form is being completed for the action of map amendment. You MUST provide code 12 if the activity is located in an established upland review area. You MUST provide code 14 if the activity is located beyond the established upland review area or no established upland review area exists.

- | | |
|--|---|
| 1 = Filling | 8 = Underground Utilities Only (no other activities) |
| 2 = Excavation | 9 = Roadway / Driveway Construction (including related culverts) |
| 3 = Land Clearing / Grubbing (no other activity) | 10 = Drainage Improvements |
| 4 = Stream Channelization | 11 = Pond, Lake Dredging / Dam Construction |
| 5 = Stream Stabilization (includes lakeshore stabilization) | 12 = Activity in an Established Upland Review Area |
| 6 = Stream Clearance (removal of debris only) | 14 = Activity in Upland |
| 7 = Culverting (not for roadways) | |

Examples: Jurisdictional ruling allowing construction of a parking lot in an upland where the municipality does not have an established upland review area must use code 14, other possible codes are 2 and 10. Permitted construction of a free standing garage (residential improvement by homeowner) partially in an established upland review area with the remainder in the upland must use code 12 and 14, other possible codes are 1 and 2.

11. Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. For PERMANENT alterations, enter in acres the area of wetland soils or watercourses altered. Include areas that are permanently altered, or are proposed to be, for all agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. For those activities that involve filling or dredging of lakes, ponds or similar open water bodies enter the acres filled or dredged under "open water body." For those activities that involve directly altering a linear reach of a brook, river, lakeshore or similar linear watercourse, enter the total linear feet altered under "stream." Remember, these figures represent only the acreage altered, not the total acreage of wetlands or watercourses on the site. You MUST provide all information in ACRES (or linear feet as indicated) including those areas less than one acre. To convert from square feet to acres, divide square feet by the number 43,560. If this report is being completed for an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.

12. Enter in acres the area of upland altered as a result of an ACTIVITY REGULATED BY the inland wetlands agency, or as a result of an AGENT APPROVAL pursuant to CGS section 22a-42a(c)(2). Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. Include areas that are permanently altered, or proposed to be permanently altered, for all agent approvals, agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. If this report is being completed for an agent approval or an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.

13. Enter the acres that are, or are proposed to be, restored, enhanced or created for all agency permits, denials, amendments, renewals, jurisdictional rulings and enforcement actions. NOTE restored or enhanced applies to previously existing wetlands or watercourses. Created applies to a non-wetland or non-watercourse area which is converted into wetlands or watercourses. For created - question #10 must provide 12 and/or 14 as an answer, and question #12 must also be answered. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. Enter zero if there is no restoration, enhancement or creation.

PART III: To Be Completed By The DEEP - Please leave this area blank. Incomplete or incomprehensible forms will be mailed back to the municipal inland wetlands agency.



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions.
If completing by hand - please print and use the [pdf version](#).
Incomplete or incomprehensible forms will be mailed back to the municipal inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: [Click Here for Year](#) month: [Click Here for Month](#)
- CHOOSE ACTION TAKEN (see instructions for code): [Click Here to Choose a Code](#)
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(type name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (type name): B
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the activity is occurring (type name(s)): _____, _____
- LOCATION (click on hyperlinks for information): [USGS quad map name](#): Wilton or [quad number](#): 107
[subregional drainage basin number](#): 7203
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): CT Consulting Engineers LLC
- NAME & ADDRESS OF ACTIVITY / PROJECT SITE (type information): 120 Georgetown Road, Weston CT
briefly describe the action/project/activity (check and type information): temporary permanent description: _____
- ACTIVITY PURPOSE CODE (see instructions for code): B
- ACTIVITY TYPE CODE(S) (see instructions for codes): 1, 2, 9, 14
- WETLAND / WATERCOURSE AREA ALTERED (see instructions for explanation, type acres or linear feet as indicated):
wetlands: 0.00 acres open water body: 0.00 acres stream: 0.00 linear feet
- UPLAND AREA ALTERED (type acres as indicated): 0.39 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type acres as indicated): 0.00 acres

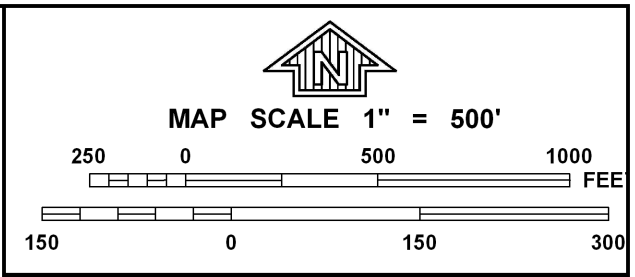
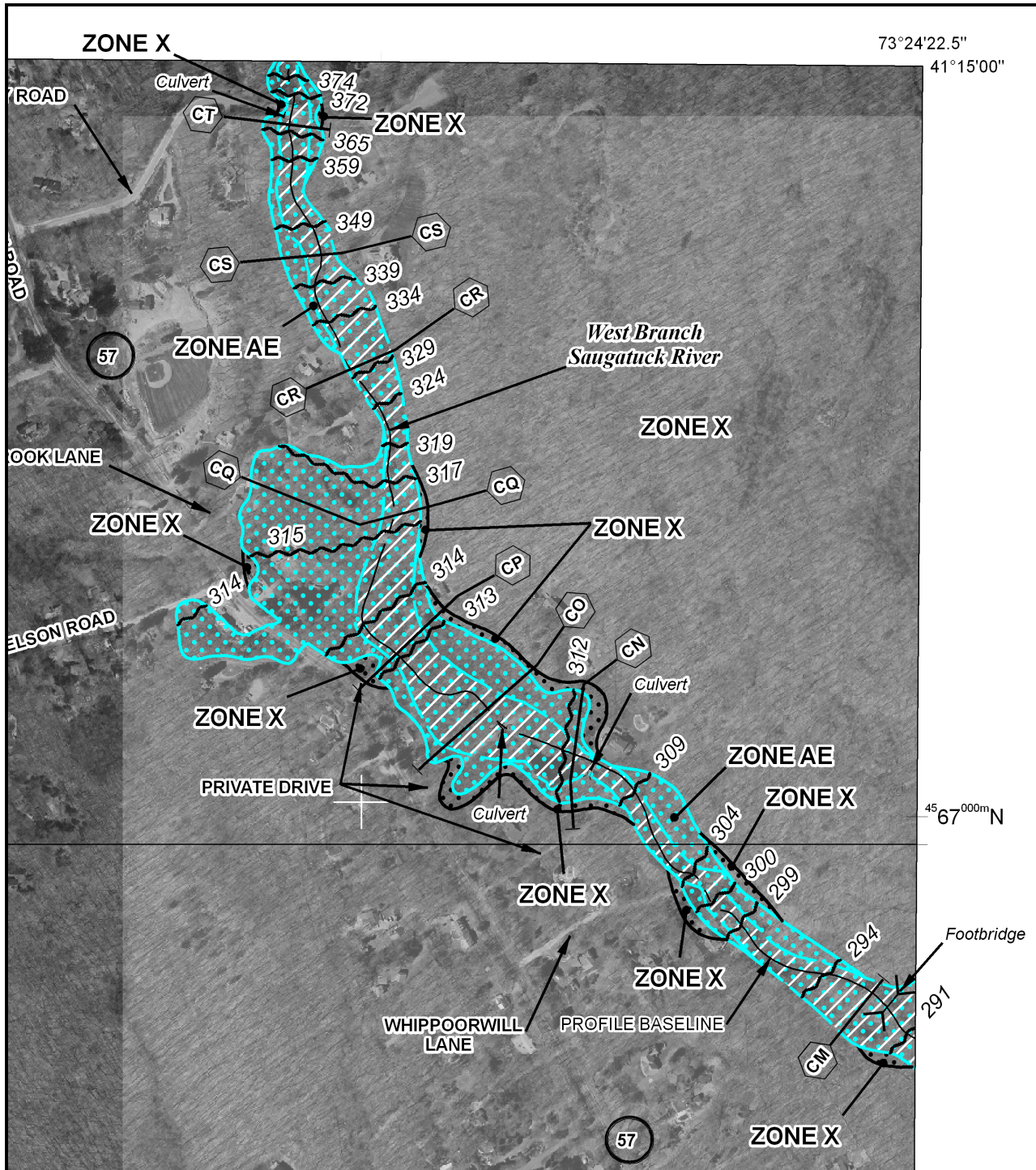
DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO



NFIP

PANEL 0381F

FIRM

FLOOD INSURANCE RATE MAP

**FAIRFIELD COUNTY,
CONNECTICUT
(ALL JURISDICTIONS)**

PANEL 381 OF 626
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
WESTON, TOWN OF	090018	0381	F
WILTON, TOWN OF	090020	0381	F

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
09001C0381F

EFFECTIVE DATE
JUNE 18, 2010

Federal Emergency Management Agency

NATIONAL FLOOD INSURANCE PROGRAM

This is an official FIRMette showing a portion of the above-referenced flood map created from the MSC FIRMette Web tool. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For additional information about how to make sure the map is current, please see the Flood Hazard Mapping Updates Overview Fact Sheet available on the FEMA Flood Map Service Center home page at <https://msc.fema.gov>.



Biodiversity Studies • Wetland Delineation & Assessment • Habitat Management • GIS Mapping • Permitting • Forestry

June 3, 2021

Jason Leewe
26 Belden Ave, Apt 2325
Norwalk, Connecticut 06850

RE: Wetland Delineation, 120 Georgetown Road (Rear), Weston

Mr. Leewe,

At your request, I conducted an inspection on the above-referenced property on May 28, 2021. The purpose of the inspection was to delineate Connecticut jurisdictional wetlands and watercourses on the property. The inspection was conducted by a soil scientist according to the requirements of the Connecticut Inland Wetlands and Watercourses Act (P.A. 155).

Inland wetlands include soil types designated as poorly drained, very poorly drained, alluvial, and floodplain by the National Cooperative Soils Survey as may be amended from time to time, of the National Resources Conservation Service (NRCS). Watercourses means rivers, streams, brooks, waterways, lakes, ponds, marshes, swamps, bogs and all other bodies of water, natural or artificial, vernal or intermittent. Intermittent watercourses shall be delineated by a defined permanent channel and bank and the occurrence of two or more of the following characteristics: (A) Evidence of scour or deposits of recent alluvium or detritus, (B) the presence of standing or flowing water for a duration longer than a particular storm incident, and (C) the presence of hydrophytic vegetation.

Wetlands were delineated by examining the upper 20" of the soil profile with a spade and auger. Those areas meeting the requirements noted above were marked with pink flagging tape and numbered with the following sequence: WF 1 – 18; 19 - 24 (refer to Wetland Delineation Sketch Map, attached). The delineated wetland boundary is generally a stone wall that borders wetlands associated with the West Branch of the Saugatuck River and includes forest, scrub-shrub, and emergent cover types. Hydrology varies from saturated to permanently flooded. A man-made pond exists within the wetland interior. Representative wetland vegetation includes American elm (*Ulmus americana*), red maple (*Acer rubrum*), bebb willow (*Salix bebbiana*), spicebush (*Lindera benzoin*), and skunk cabbage (*Symplocarpus foetidus*).

Digitally available updated soil survey information was obtained from the Natural Resources Conservation Service (refer to NRCS Soil Map, attached). The following is a description of wetland and upland soil types.

Wetland Soil Types

Wetland soils are characterized as Timakwa and Nachaug soils. The Timakwa series consists of very deep, very poorly drained soils formed in woody and herbaceous organic materials over sandy deposits in depressions on lake plains, outwash plains, till plains, moraines, and flood plains. These soils have moderate to very rapid permeability in the organic material and rapid to very rapid permeability in the sandy material. Slope ranges from 0 to 2 percent.

The Natchaug series consists of very deep, very poorly drained soils formed in woody and herbaceous organic materials overlying loamy deposits in depressions on lake plains, outwash plains, till plains, moraines, and flood plains. These soils have moderate to very rapid permeability in the organic material and moderately slow to moderately rapid permeability in the loamy material. Slope ranges from 0 to 2 percent.

Upland Soil Types

The non-wetland soils were not examined in detail, except as was necessary to identify the wetland boundary. Upland soils are characterized as Charlton-Chatfield complex. The Charlton series is a very deep, well drained loamy soil formed in friable till. They are nearly level to very steep soils on till plains and hills. Depth to bedrock and the seasonal high water table is commonly more than 6 feet.

The Chatfield series consists of moderately deep, well drained, and somewhat excessively drained soils formed in till. They are nearly level to very steep soils on glaciated plains, hills, and ridges. Slope ranges from 0 to 70 percent. Crystalline bedrock is at depths of 20 to 40 inches. The soils formed in a moderately thick mantle of glacial till overlying granite, gneiss, or schist bedrock. Rock outcrops are rare to common and are limited to the more resistant bedrock.

If you have any questions regarding these findings, please feel free to contact me.

Respectfully submitted,



Matthew Davison, PWS, PSS, CPESC, CT Forester

Enclosures: Site Photographs

Soil Map

Wetland Delineation Sketch Map

Site Photographs
120 Georgetown Road, Weston



Photo 1: View of wetland boundary looking west at WF 6 (flag is over stone wall which forms the boundary)



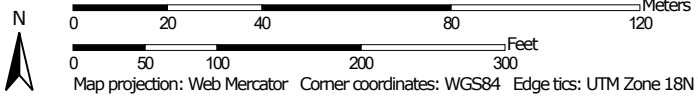
Photo 2: View of the man-made pond within wetland and adjacent to the West Branch of the Saugatuck River looking south

Soil Map—State of Connecticut
(120 Georgetown Road, Weston)




Soil Map may not be valid at this scale.

Map Scale: 1:1,600 if printed on A landscape (11" x 8.5") sheet.



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut
Survey Area Data: Version 20, Jun 9, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Oct 5, 2016

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

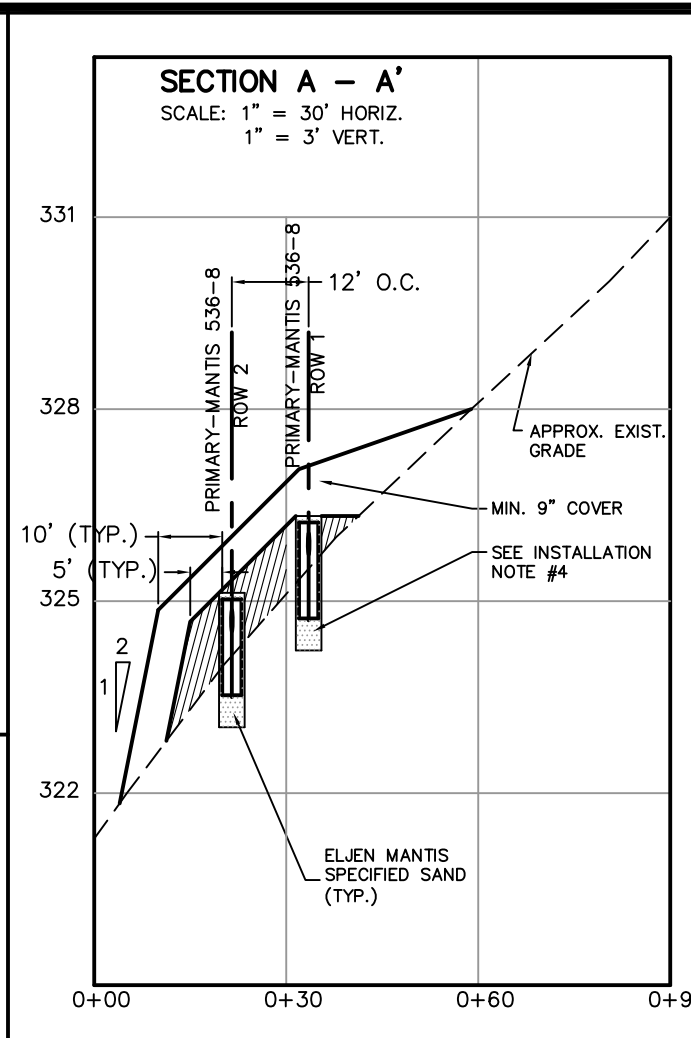
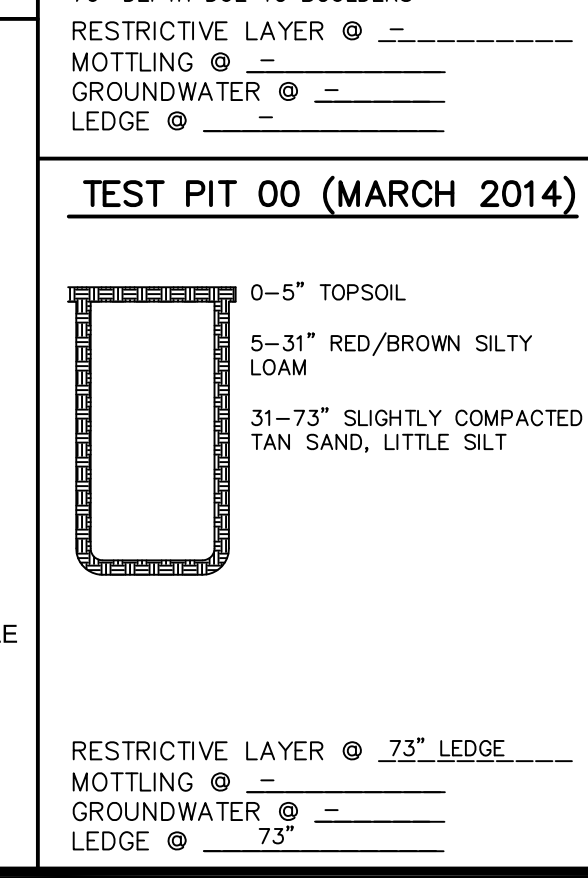
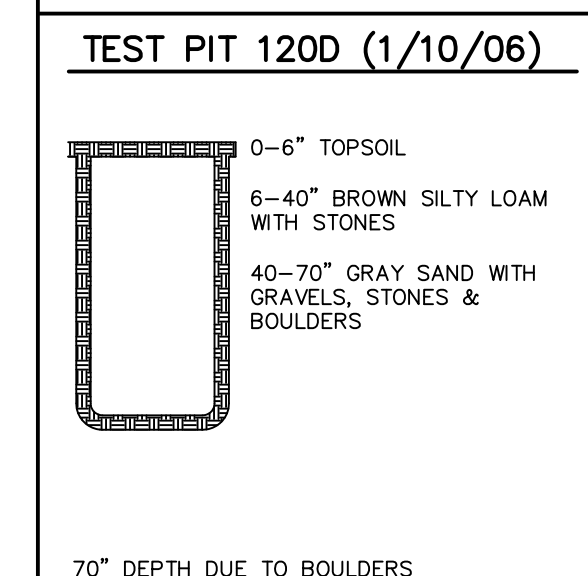
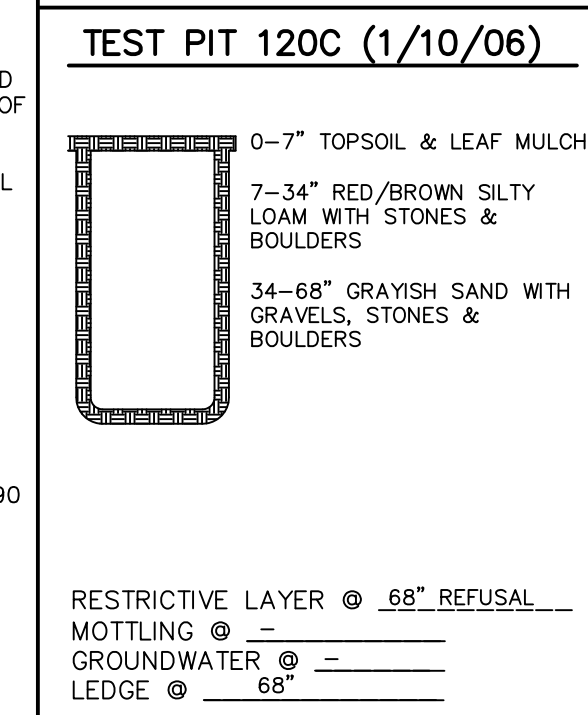
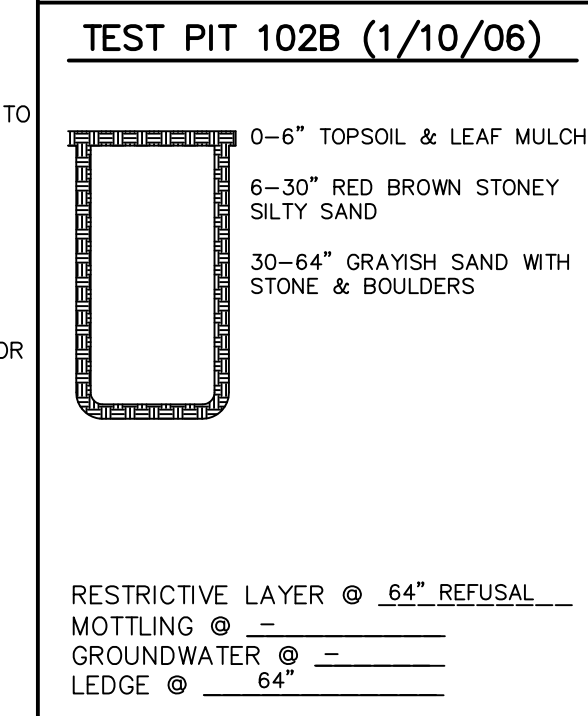
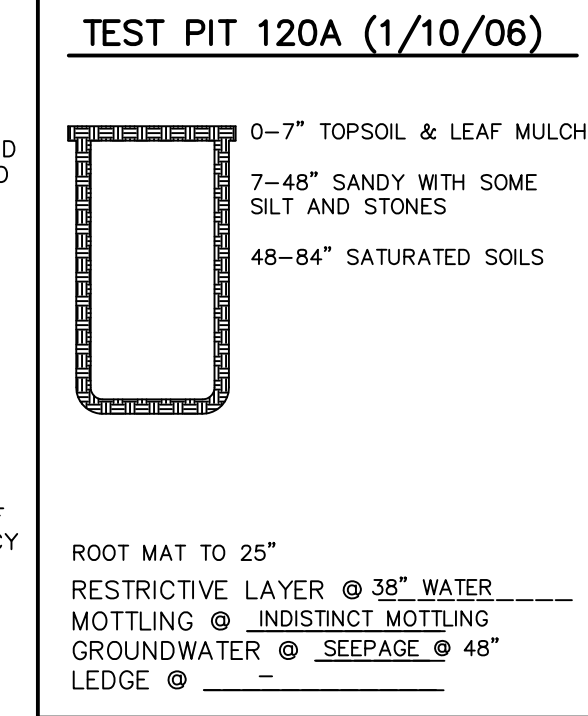
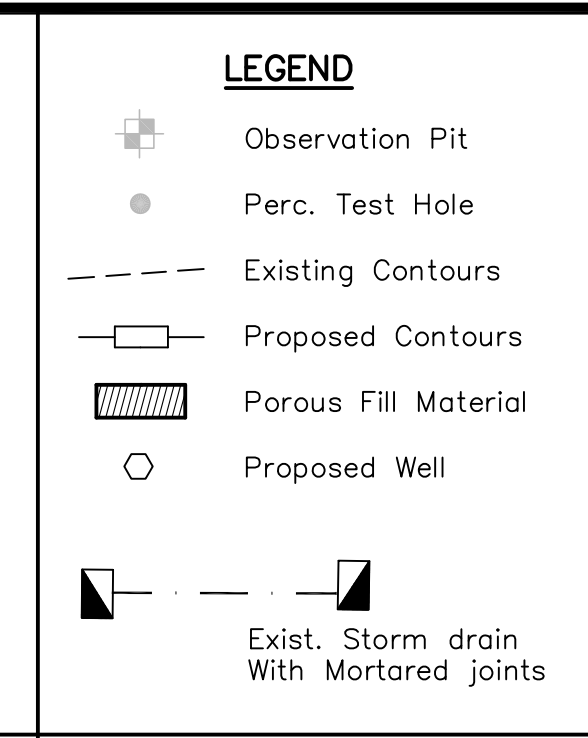
Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
17	Timakwa and Natchaug soils, 0 to 2 percent slopes	7.2	67.1%
51B	Sutton fine sandy loam, 0 to 8 percent slopes, very stony	1.2	11.2%
52C	Sutton fine sandy loam, 2 to 15 percent slopes, extremely stony	0.0	0.2%
73C	Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky	1.9	17.6%
75E	Hollis-Chatfield-Rock outcrop complex, 15 to 45 percent slopes	0.4	3.9%
Totals for Area of Interest		10.7	100.0%

SEPTIC SYSTEM DESIGN DATA
 DATE OF TESTING: 1/10/06
 PROPOSED # OF BEDROOMS = 6 (MULTI-FAMILY)
 OBSERVED PERCOLATION RATE: TEST A 10 MIN/IN TEST B 14.4 MIN/IN
 OBSERVED PERCOLATION RATE: TEST C 16 MIN/IN TEST D MIN/IN
 DESIGN PERCOLATION RATE: 20 MIN PER INCH (MULTI-FAMILY)
 REQUIRED LEACHING AREA (PER STATE HEALTH CODE): 1,350 EFFECTIVE SQ. FT.
 PROPOSED LEACHING SYSTEM: 124 LIN. FT. OF MANTIS 536-8 @ 11.0 SF/LF
 = 1,364 SF PROV.
 PROPOSED SEPTIC TANK SIZE 2,000 GALLONS
 LEACHING SYSTEM ELEVATIONS BASED ON: R.L.>60" NO M.L.S.S. REQUIRED
 SLOPE = % DEPTH TO RESTRICTIVE LAYER = 60" = H.F.
 M.L.S.S. = (H.F.) x (F.F.) (P.F.) = FT.
 RESERVE AREA = 47 LF OF GeoU 1272 (72" w x 12.5" h) @ 28.8 SF/LF = 1,353.5 SF PROV.

GENERAL NOTES
 A. ALL PROPOSED CONSTRUCTION SHALL CONFORM TO CONNECTICUT STATE DEPARTMENT OF HEALTH PUBLIC HEALTH CODE REGULATION AS AMENDED.
 B. THE TEST RESULTS AND SOIL TYPES APPLY ONLY TO THE OBSERVATION PITS AND TEST HOLES SHOWN AND MAY NOT BE THE SAME FOR OTHER AREAS ON THE SITE. SUITABLE FIELD CONDITIONS SHOULD BE VERIFIED BY THE OWNER/INSTALLER FOR THE ENTIRE SYSTEM AREAS PRIOR TO INSTALLATION. TEST PIT LOCATIONS FROM APPROVED SUBDIVISION PLAN.
 C. IF LEDGE, GROUNDWATER, OR MOTTLING ARE ENCOUNTERED AT SHALLOWER DEPTHS THAN SHOWN IN THE OBSERVATION PIT PROFILES OR SPECIFIED IN THE SYSTEM DESIGN DATA, THE SANITARIAN AND DESIGN ENGINEER SHALL BE CONTACTED IMMEDIATELY AND CONSTRUCTION HALTED UNTIL DIRECTED FURTHER.
 D. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO WELLS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
 E. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO SEPTIC SYSTEMS OR UNDERGROUND OIL TANKS WITHIN 75' OF THE PROPOSED WELL.
 F. NO DEVIATIONS FROM THE APPROVED DESIGN PLAN SHALL BE ALLOWED WITHOUT THE PRIOR APPROVAL OF THE LOCAL HEALTH DEPARTMENT AND DESIGN ENGINEER. THE TOWN SANITARIAN OR LOCAL HEALTH AGENCY SHALL BE NOTIFIED PRIOR TO AND AFTER THE FOLLOWING (AS APPLICABLE) FOR INSPECTION:
 A. STRIPPING OF TOPSOIL AND SCARIFYING SURFACE.
 B. PLACEMENT OF FILL MATERIAL.
 C. PLACEMENT OF SEPTIC TANK.
 D. PLACEMENT OF SOIL PIPE.
 E. INSTALLATION OF LEACHING SYSTEM.
 G. NO PORTION OF THE SEPTIC SYSTEM SHALL BE COVERED UNTIL APPROVED BY THE TOWN SANITARIAN OR LOCAL HEALTH AGENCY.
 H. IF A CERTIFIED "AS-BUILT" DRAWING OF THE SEPTIC SYSTEM INSTALLATION IS REQUIRED FOR SUBMISSION TO THE LOCAL HEALTH DEPARTMENT OR AGENCY, THE DESIGN ENGINEER SHALL BE CONTACTED PRIOR TO BACKFILLING OF THE SEPTIC SYSTEM TO TAKE THE NECESSARY MEASUREMENTS.
 I. ANY OIL TANK INSTALLATION SHALL BE INSIDE THE HOUSE UNLESS AN INGROUND LOCATION, MEETING ALL APPLICABLE STATE AND LOCAL CODES, IS APPROVED BY THE LOCAL HEALTH DEPARTMENT OR AGENCY.
 J. ANY WATER SERVICE PIPE TO BE AT LEAST 10' AWAY FROM ALL SEWER APPURTENANCES.
 K. ALL AREAS TO BE PROTECTED AGAINST EROSION DURING CONSTRUCTION USING STAKED HAY BALES AND/OR SILT FENCE AS REQUIRED. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED AS SOON AS POSSIBLE AFTER SYSTEM CONSTRUCTION.
 L. ELEVATIONS HAVE BEEN FIELD VERIFIED IN THE SEPTIC & BUILD. AREAS.
 M. ALL PIPING SHALL BE 4" SOLID PVC SDR 35 ASTM 3034 UNLESS OTHERWISE SPECIFIED.

INSTALLATION NOTES
 1. THE BOTTOM OF THE LEACHING SYSTEM MUST BE AT LEAST 18" ABOVE MAXIMUM GROUNDWATER AND 4' ABOVE LEDGE.
 2. ALL LEACHING PIPES/CHAMBERS SHALL BE LAID WITH A SLOPE OF 2" PER 100 LINEAL FEET.
 3. DISTRIBUTION BOXES TO BE PLACED IN UNDISTURBED SOIL OR COMPACTED GRAVEL TO BELOW FROST LINE.
 4. TOPSOIL IS TO BE STRIPPED FROM SYSTEM AREA AND STOCKPILED TO BE USED AS FINAL COVER. EXPOSED SUBSOIL TO BE SCARIFIED PRIOR TO THE PLACEMENT OF ANY SELECT GRANULAR FILL AND INSTALLATION OF THE SYSTEM.
 5. FILL MATERIAL, IF REQUIRED, SHALL BE GRANULAR MATERIAL FREE OF LOAM, SILT AND CLAY. NO MATERIAL LARGER THAN 3" SIEVE AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:
 WET SIEVE DRY SIEVE
 PASSING #4 SIEVE = 100% 100%
 PASSING #10 SIEVE = 70 - 100% 70 - 100%
 PASSING #40 SIEVE = 10 - 50%* 10 - 70%
 PASSING #100 SIEVE = 0 - 20% 0 - 5%
 PASSING #200 SIEVE = 0 - 5% 0 - 2.5%
 * PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.
 6. GRANULAR FILL SHALL BE PLACED IN 6" LIFTS AND COMPACTED BY ROLLING OR MECHANICAL MEANS TO 90% OF STANDARD PROCTOR DENSITY PRIOR TO SYSTEM INSTALLATION.
 7. THE PERCOLATION RATE OF COMPACTED IN PLACE FILL AND BACKFILL SHALL BE NO SLOWER THAN THE ORIGINAL RATE FOR THE LOT, AND, IN NO CASE, SLOWER THAN 20 MIN. PER INCH.
 8. WHERE 18" OR MORE OF FILL IS REQUIRED, THE OWNER/INSTALLER SHALL PROVIDE THE FOLLOWING:
 A. SIEVE ANALYSIS PRIOR TO THE PLACEMENT OF MATERIAL.
 B. COMPACTION TESTS AFTER THE PLACEMENT OF MATERIAL.
 C. PERCOLATION TESTS IN THE COMPACTED MATERIAL PER THE REQUIREMENTS OF THE LOCAL SANITARIAN OR HEALTH AGENCY.
 9. FINISHED GRADING OF THE LOT TO DIRECT SURFACE RUNOFF AWAY FROM THE AREA OF THE SYSTEM.



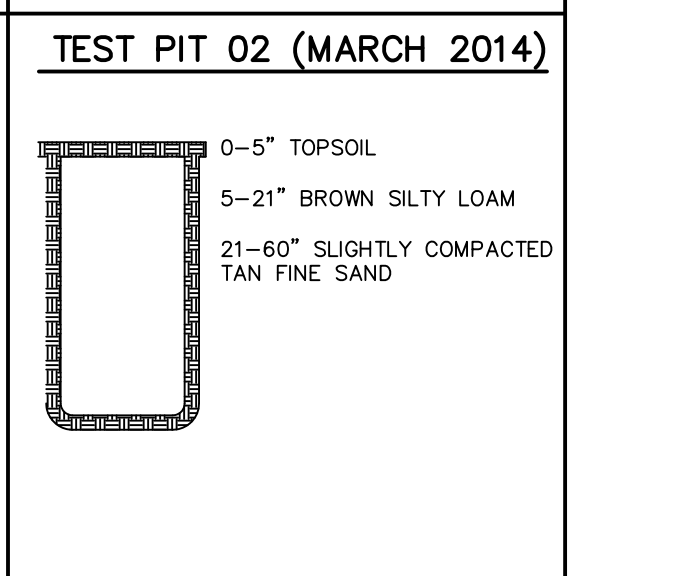
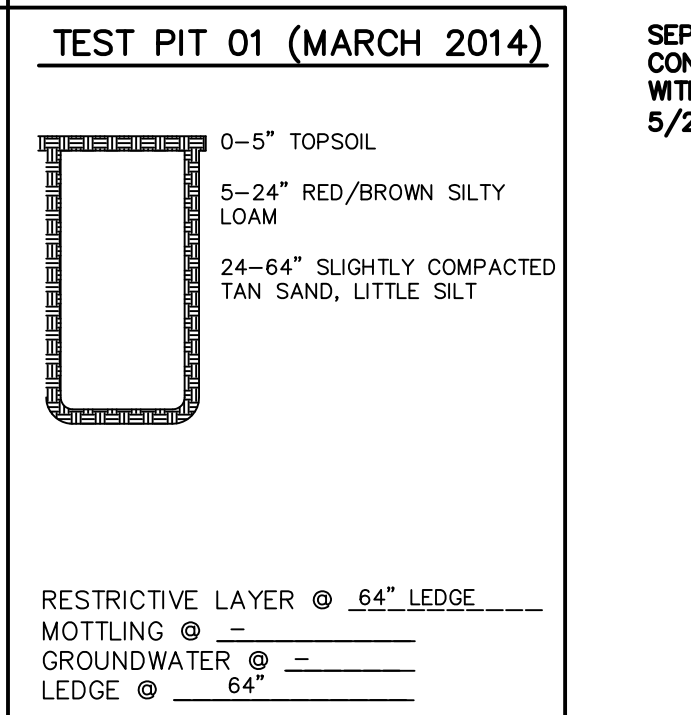
MAP REFERENCES:

- MAP ENTITLED, "SITE DEVELOPMENT PLAN, LAND OF WESTON I, LLC #120 GEORGETOWN ROAD, WESTON, CT", SCALE: 1"=30', DATED: 3/8/06, PREPARED BY JULIANO ASSOCIATES.
- MAP ENTITLED, "MAP OF PROPERTY PREPARED FOR BETTY PURDY, WESTON, CT", SCALE: 1"=40', DATED: 12/19/75, PREPARED BY LEONARD SURVEYORS, MAP ON FILE IN THE WESTON LAND RECORDS AS MAP #2393.
- TOWN OF TOPOGRAPHY MAP, SHEET NO. 9, SCALE: 1"=200', DATE OF MAPPING: AUGUST 1981.

ELJEN MANTIS SPECIFIED SAND REQUIREMENTS
 ALL MANTIS INSTALLATIONS UTILIZE A SPECIFIED SAND ENVELOPE AROUND MANTIS UNITS. 6" MINIMUM UNDERNEATH, 6" MINIMUM ON THE SIDES, 1" MINIMUM ON TOP, AND 3" BETWEEN THE SUPPORT MODULES OF THE MANTIS UNITS. THE MANTIS SPECIFIED SAND SPECIFICATION IS LISTED BELOW:

SIEVE SIZE:	SIEVE SQUARE OPENING SIZE:	SPECIFICATION PERCENT PASSING (WET SIEVE):
0.375"	9.5 mm	100.0
#4	4.75 mm	95.0-100.0
#8	2.36 mm	80.0-100.0
#16	1.18 mm	50.0-85.0
#30	600 um	25.0-60.0
#50	300 um	5.0-30.0
#100	150 um	< 10.0
#200	75 um	< 5.0

REQUEST A SIEVE ANALYSIS FROM YOUR MATERIAL SUPPLIER TO ENSURE THAT THE SYSTEM SAND MEETS THE SPECIFICATION REQUIREMENTS LISTED



PERC: PT-A (1/10/06) DEPTH: 1.5'

12:04	0.55"	1:28	10q"
12:14	0.85"	1:38	15q"
12:24	1.05"	1:48	18"
12:34	1.15"	1:58	19q"
12:44	1.25"	2:08	20q"
12:54	1.30"	2:18	21"
1:04	1.20"	2:28	21q"

PERC: PT-B (1/10/06) DEPTH: 3.1'

12:06	0.65"		
12:16	0.75"		
12:26	0.85"		
12:36	0.95"		
12:46	1.02"		
12:56	1.10"		
1:06	1.14"		

PERC: PT-C (5/2/14) DEPTH: 24"

1:28	10q"
1:38	15q"
1:48	18"
1:58	19q"
2:08	20q"
2:18	21"
2:28	21q"

PERC: PT-D (5/2/14) DEPTH: 24"

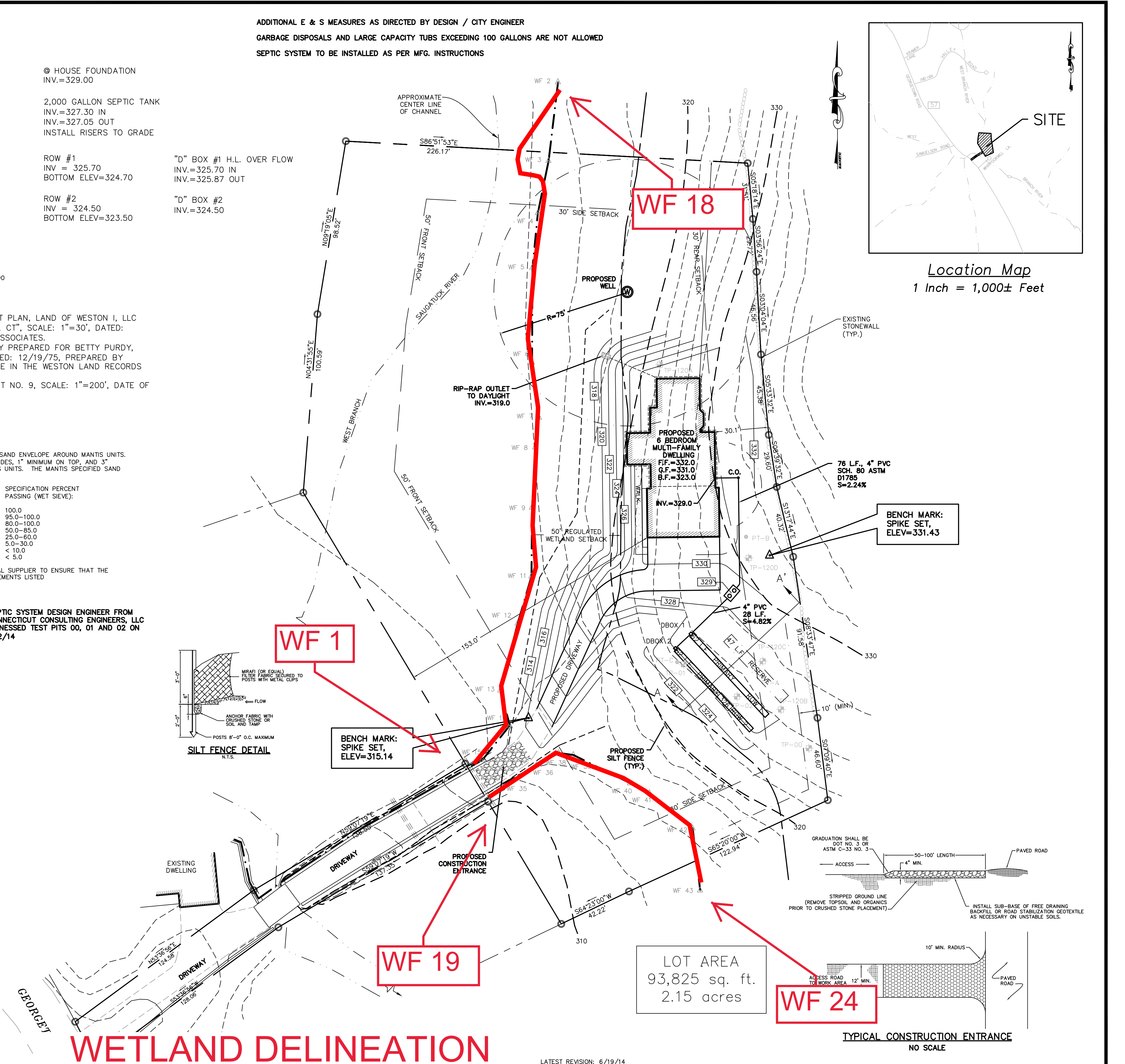
1:28	10q"
1:38	15q"
1:48	18"
1:58	19q"
2:08	20q"
2:18	21"
2:28	21q"

NOTE: FILL TO 1.10
 Δ=2'52"03"
 R=508.34'
 L=25.44'

PERC: PT-E (1/10/06) DEPTH: 1.5'

12:04	0.55"	1:28	10q"
12:14	0.85"	1:38	15q"
12:24	1.05"	1:48	18"
12:34	1.15"	1:58	19q"
12:44	1.25"	2:08	20q"
12:54	1.30"	2:18	21"
1:04	1.20"	2:28	21q"

NOTE: FILL TO 1.10
 Δ=2'52"03"
 R=508.34'
 L=25.44'



LATEST REVISION: 6/19/14

CONNECTICUT CONSULTING ENGINEERS, L.L.C.
 CIVIL ENGINEERS & SURVEYORS

DESIGN BY: JG/CK
 CHECKED BY: JG/CK
 DATE: 6/17/13

SCALE: 1" = 30'

PROJ. NO.: CCE 1118

CAD DRAW. NO.: 1118

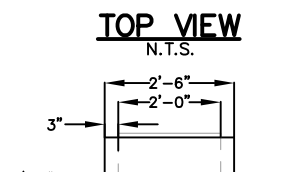
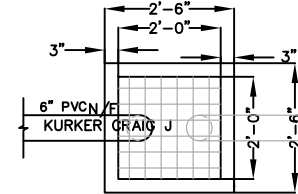
PREPARED FOR:
WESTON I, LLC
 120 GEORGETOWN ROAD
 WESTON, CONNECTICUT

ONE PRESTIGE DRIVE SUITE 110
 203-639-8636

MERIDEN, CT. 06450
 FAX 203-639-0022

SEPTIC SYSTEM PLAN

ZONING/DESIGN DATA		
ZONE	REQUIRED/ALLOWED	PROPOSED
R-2AC		
LOT AREA	87,120 S.F.	- S.F.
LOT WIDTH	170 FT.	- FT.
FRONT SETBACK	30 FT.	- FT.
SIDE YARD	30 FT.	- FT.
REAR YARD	30 FT.	- FT.
MAX. LOT COVERAGE	15%	- %
BUILDING HEIGHT	35 FT.	- FT.



- NOTES:
1. REINFORCING STEEL WELDED WIRE FABRIC CONFORMS TO LATEST ASTM SPECIFICATION A185.
 2. REINFORCING STEEL DEFORMED BARS CONFORM TO LATEST ASTM SPECIFICATION A618.
 3. CONCRETE COMPRESSIVE STRENGTH - 4000 PSI AT 28 DAYS.
 4. METHOD OF MANUFACTURE: WET CAST.
 5. SECTION IS MONOLITHIC.
 6. DESIGN LOAD: AASHTO H-20.
 7. UNITED CONCRETE PRODUCTS, INC. OR EQUAL.

- NOTES:
1. DEED REFERENCE:
 2. MAP/LOT: 3 1 20
 3. ZONE: R-2AC
 4. PROPERTY SUBJECT TO FLOOD ZONE AE, BFE VARIES (SEE MAP REFERENCE 5)
 5. NO TREES 12" OR GREATER TO BE REMOVED FOR DEVELOPMENT

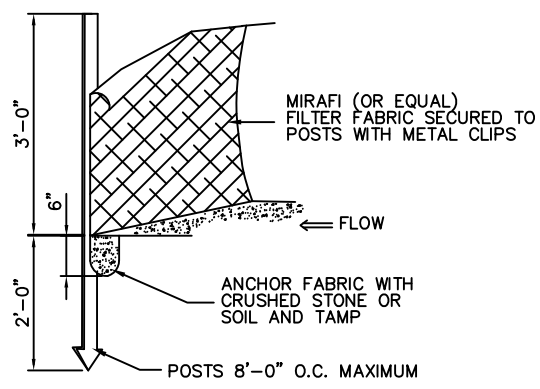
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 3. MAP ENTITLED, "SEPTIC SYSTEM PLAN", SCALE: 1"=30', DATED: 6/17/13, PREPARED BY CONNECTICUT CONSULTING ENGINEERS
 4. TOWN OF TOPOGRAPHY MAP, SHEET NO. 9, SCALE: 1"=200', DATE OF MAPPING: AUGUST 1981.
 5. FIRM MAP - CITY OF WESTON MAP NUMBER: 09001C0381F, EFFECTIVE: JUNE 18, 2010, PANEL 381 OF 626, SCALE: 1"=500'

ELIJAH MANTIS SPECIFIED SAND REQUIREMENTS

ALL MANTIS INSTALLATIONS UTILIZE A SPECIFIED SAND ENVELOPE AROUND MANTIS UNITS. 6" MINIMUM UNDERNEATH, 6" MINIMUM ON THE SIDES, 1" MINIMUM ON TOP, AND 3" BETWEEN THE SUPPORT MODULES OF THE MANTIS UNITS. THE MANTIS SPECIFIED SAND SPECIFICATION IS LISTED BELOW.

SIEVE SIZE:	SIEVE SQUARE OPENING SIZE:	SPECIFICATION PERCENT PASSING (WET SIEVE):
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#30	600 um	25.0-80.0
#60	300 um	5.0-30.0
#100	150 um	< 10.0
#200	75 um	< 5.0

REQUEST A SIEVE ANALYSIS FROM YOUR MATERIAL SUPPLIER TO ENSURE THAT THE SYSTEM SAND MEETS THE SPECIFICATION REQUIREMENTS LISTED



SILT FENCE DETAIL N.T.S.

SURVEYOR'S GENERAL NOTES:

1. THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE "RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS APPROVED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC. 1996.
2. THE TYPE OF SURVEY PERFORMED IS A PROPERTY SURVEY.
3. THE BOUNDARY DETERMINATION IS BASED UPON A DEPENDENT RESURVEY, SEE MAP REFERENCE.
4. THIS SURVEY CONFORMS TO A CLASS "A-2" SURVEY.

"TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."

Scott D. Poryanda



SCOTT D. PORYANDA P.E./L.S. #19299

LOT AREA
93,825 sq. ft.
2.15 acres

APPLICANT
TODD & HELENA BLINDER
211 CLAIRMONT TERRACE
ORANGE NJ, 07050

OWNER
WESTON 1 LLC
205 WILLOW BROOK AVE
STAMFORD CT, 06902

REVISED 03/15/2022

CONNECTICUT CONSULTING ENGINEERS L.L.C.
CIVIL ENGINEERS & SURVEYORS

ONE PRESTIGE DRIVE
SUITE 110
203-639-8636

MERIDEN, CT. 06450
FAX 203-639-0022

DRAWN BY JG/LD	DESIGN BY JG	CHECKED BY SBP
DATE 6/18/21	SCALE 1" = 30'	PROJ. NO. CCE 2021
		CAD DRAW. NO. 2135

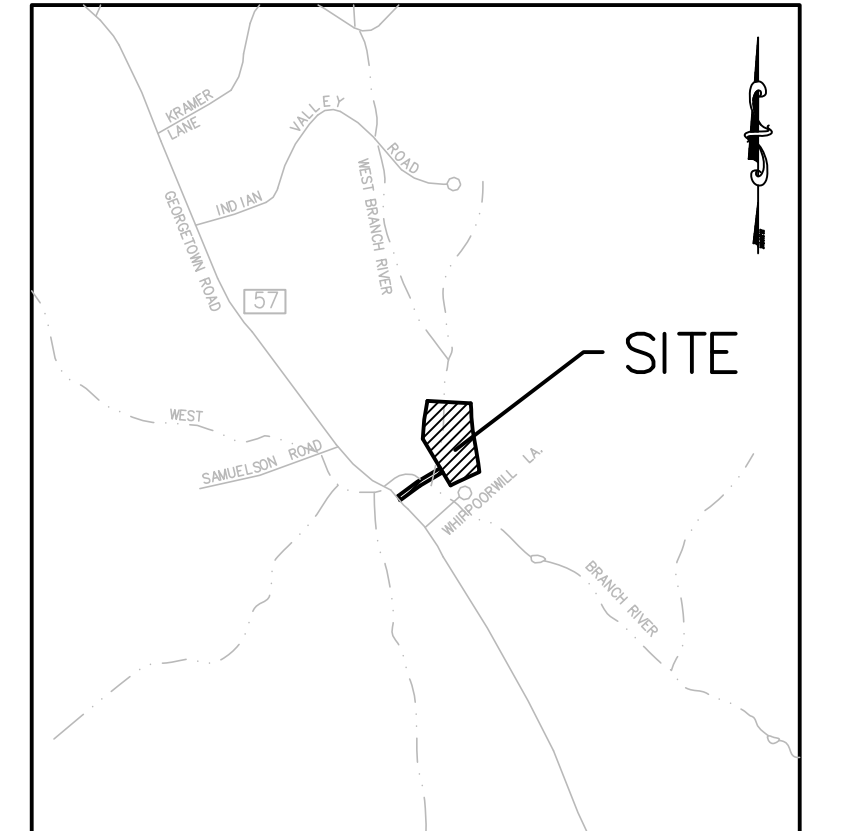
SITE PLAN

PREPARED FOR

TODD & HELENA BLINDER
120 GEORGETOWN ROAD

WESTON,

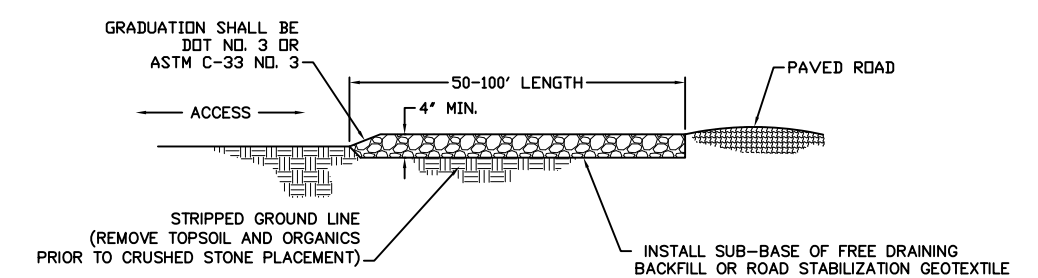
CONNECTICUT



Location Map
1 Inch = 1,000± Feet

CONSTRUCTION SEQUENCE:

1. PURSUANT TO THE EROSION & SEDIMENTATION CONTROL PLAN, NOTIFY THE MUNICIPAL PLANNING AND ENGINEERING DEPTS. OF ONSET OF CONSTRUCTION ACTIVITY.
 2. ESTABLISH EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN ON PLAN PRIOR TO CONSTRUCTION. ALL CONSTRUCTION SHALL CONFORM TO CONNECTICUT FORM 816.
 3. CALL BEFORE YOU DIG 1-800-922-4455
 4. BEGIN SITE DEVELOPMENT, BUILDING FOUNDATION EXCAVATION, GRADING, ETC.
 5. STAKE AND PLACE FOUNDATION, BEGIN BUILDING DEVELOPMENT.
 6. CONSTRUCT SEPTIC SYSTEM, WELL, YARD DRAIN; PROTECT YARD DRAIN WITH STAKED HAY BALES, IF NECESSARY, TRAP ANY SEDIMENT THAT ACCUMULATES DURING CONSTRUCTION.
 7. PLACE AND GRADE BANKS; PROVIDE SLOPE STABILIZATION AT 2:1 BANKS (IF REQUIRED).
 8. FINISH GRADE AND PLACE GRAVEL BASE FOR PAVED AREAS. (IF APPLICABLE).
 9. FINISH GRADE SITE; SPREAD TOP SOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION; STABILIZE ALL SLOPES.
- | SUGGESTED SEED MIXTURE | LBS/AC | LBS/1000 SF |
|------------------------|--------|-------------|
| KENTUCKY BLUE GRASS | 20 | 0.45 |
| CREeping RED FESCUE | 20 | 0.45 |
| PERENNIAL RYE GRASS | 5 | 0.10 |
| | 45 | 1.00 |
10. REMOVE SEDIMENT AND DISPOSE OF OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.



TYPICAL CONSTRUCTION ENTRANCE
NO SCALE



WESTPORT WESTON HEALTH DISTRICT
180 Bayberry Lane, Westport, CT 06880-2855
Telephone: (203) 227-9571

PERMIT TO CONSTRUCT
A PRIVATE SUBSURFACE SEWAGE DISPOSAL SYSTEM

Permit for: New Construction Septic Alteration Septic Repair

Property Address: 120 Georgetown Rd Westport Weston

Tank Size: 2000 System is based on a 6 bedroom dwelling and/or 0 oversized fill and drain tubs.

Pump Chamber: NA

Type and Size of Leaching Area: 124' manhole 536'

Date of Approved Plan: 6/17/13 Revision Date: 4/19/18

Engineered Plan Required: Yes No If yes, Name of Engineer SCOTT Perryande

Select Fill Required: Yes No Sieve Analysis Required: Yes No

As-Built Required from: Septic Installer Yes No Design Engineer Yes No

Notify the sanitarian a minimum of 24 hours prior to starting work to schedule inspections.

Additional Requirements:

WWHD shall witness the removal of top soil and placement of select fill

A permit to construct a private subsurface sewage disposal system at the above address is granted to:

Lawrence Brawley
Installer

5148
License No.

of _____
Address

Restrictions:

Any change in the location or design of this system must receive prior approval of the Westport Weston Health District. A condition of this permit is that future alterations or additions to the system must be made if found to be necessary in the opinion of the Director of Health. This Permit to Construct is valid for *one year* from the date of issuance and shall not be construed as permission to create or maintain any sewage nuisance. In the issuance of this Permit to Construct, the Westport Weston Health District assumes no responsibility for the future operation and maintenance of the system.

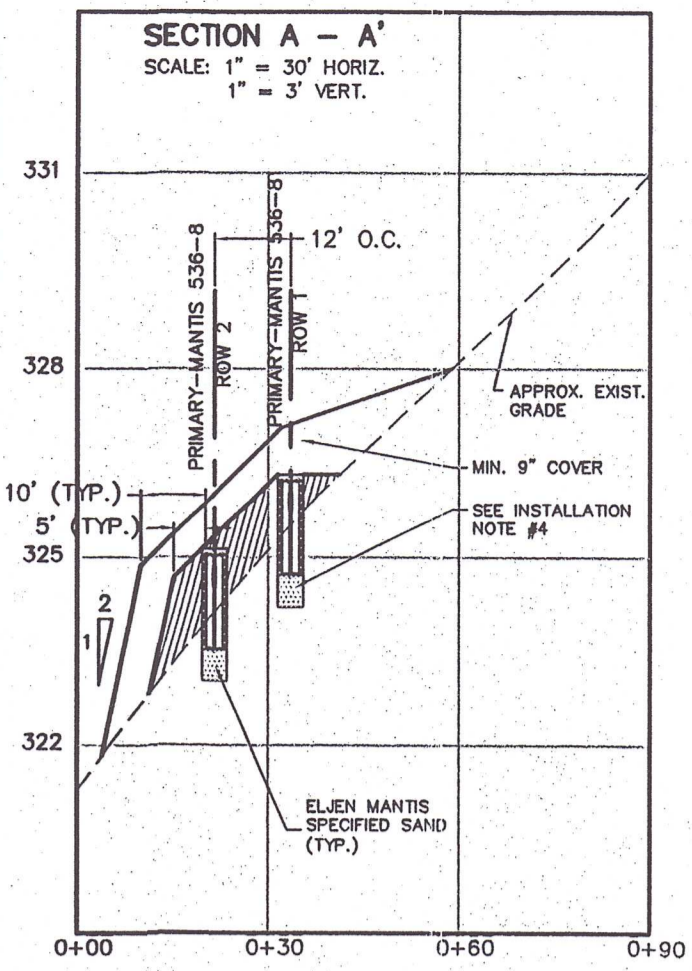
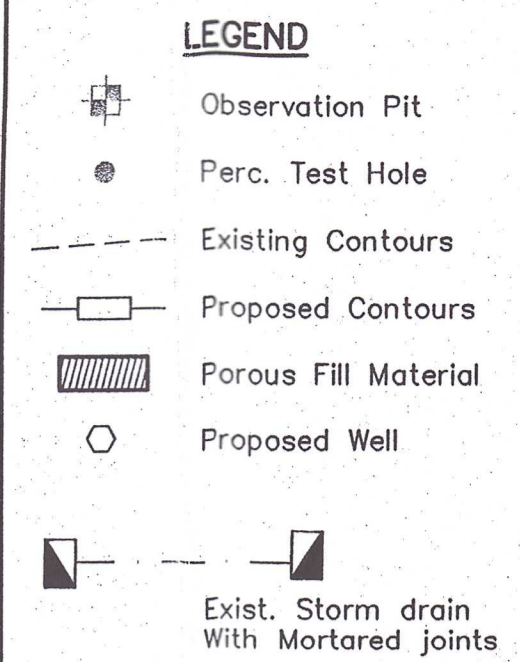
Issued By: J. Mayer
Sanitarian's Signature

5/25/18
Date

updated
2/3/22
CM

SEPTIC SYSTEM DESIGN DATA

DATE OF TESTING: 1/10/06
 PROPOSED # OF BEDROOMS = 6 (MULTI-FAMILY)
 OBSERVED PERCOLATION RATE: TEST A 10 MIN/IN TEST B 14.4 MIN/IN
 DESIGN PERCOLATION RATE: 20 MIN PER INCH (MULTI-FAMILY)
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 = 1,364 SF PROV.
 PROPOSED SEPTIC TANK SIZE 2,000 GALLONS
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 M.L.S.S. = (H.F.) x (F.F.) (P.F.) FT.
 RESERVE AREA = 47 LF OF GeoU 1272 (72" w x 12.5" h) @ 28.8 SF/LF = 1,353.5 SF PROV.



HOUSE FOUNDATION INV.=329.00
 2,000 GALLON SEPTIC TANK INV.=327.30 IN INV.=327.05 OUT INSTALL RISERS TO GRADE
 ROW #1 INV = 325.70 BOTTOM ELEV=324.70
 ROW #2 INV = 324.50 BOTTOM ELEV=323.50

"D" BOX #1 H.L. OVER FLOW INV.=325.70 IN INV.=325.87 OUT
 "D" BOX #2 INV.=324.50

- MAP REFERENCES:**
- MAP ENTITLED, "SITE DEVELOPMENT PLAN, LAND OF WESTON I, LLC #120 GEORGETOWN ROAD, WESTON, CT", SCALE: 1"=30', DATED: 3/8/06, PREPARED BY JULIANO ASSOCIATES.
 - MAP ENTITLED, "MAP OF PROPERTY PREPARED FOR BETTY PURDY, WESTON, CT", SCALE: 1"=40', DATED: 12/19/75, PREPARED BY LEONARD SURVEYORS, MAP ON FILE IN THE WESTON LAND RECORDS AS MAP #2393.
 - TOWN OF TOPOGRAPHY MAP, SHEET NO. 9, SCALE: 1"=200', DATE OF MAPPING: AUGUST 1981.

ELIEN MANTIS SPECIFIED SAND REQUIREMENTS

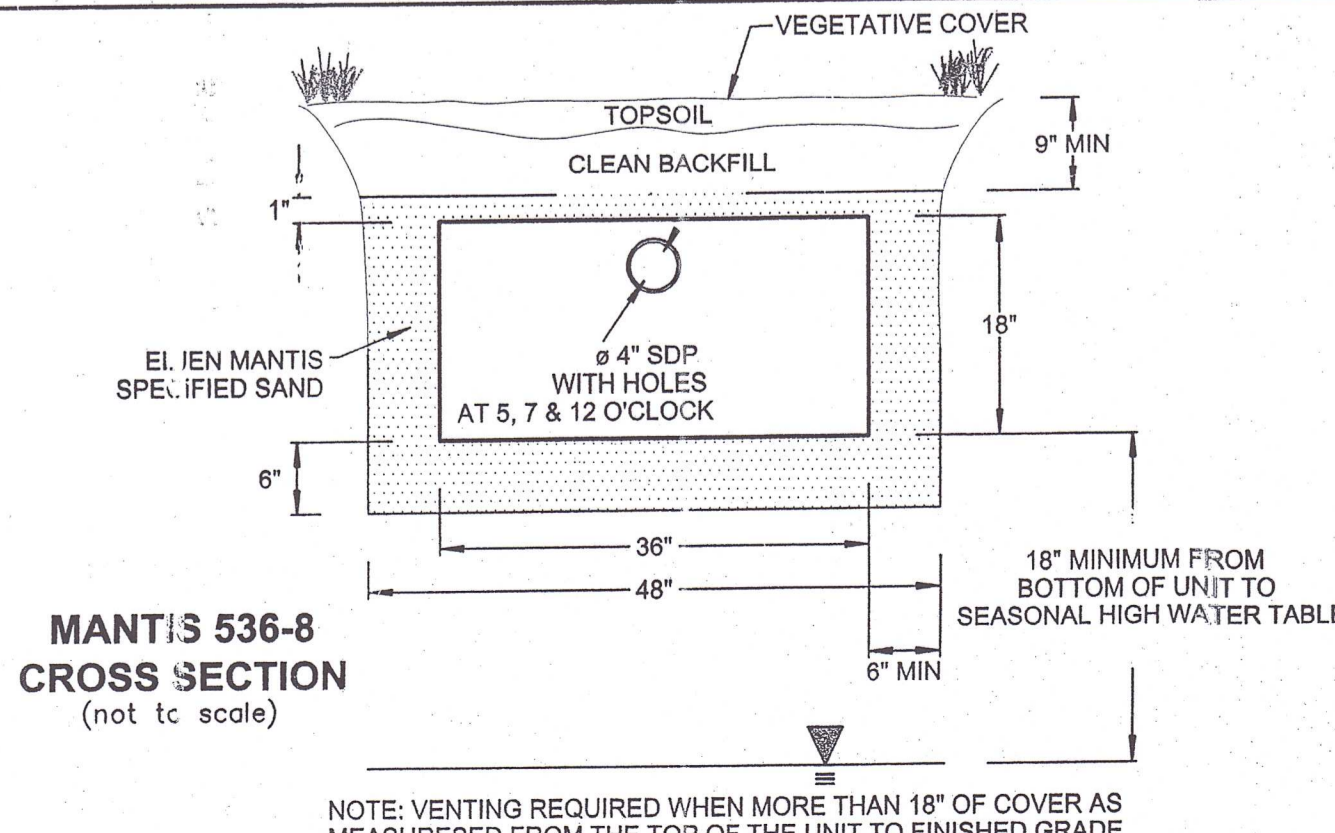
ALL MANTIS INSTALLATIONS UTILIZE A SPECIFIED SAND ENVELOPE AROUND MANTIS UNITS. 6" MINIMUM UNDERNEATH, 6" MINIMUM ON THE SIDES, 1" MINIMUM ON TOP, AND 3" BETWEEN THE SUPPORT MODULES OF THE MANTIS UNITS. THE MANTIS SPECIFIED SAND SPECIFICATION IS LISTED BELOW:

SIEVE SIZE:	SIEVE SQUARE OPENING SIZE:	SPECIFICATION PERCENT PASSING (WET SIEVE):
0.375"	9.5 mm	100.0
#4	4.75 mm	95.0-100.0
#8	2.36 mm	80.0-100.0
#16	1.18 mm	50.0-85.0
#30	600 um	25.0-60.0
#60	300 um	5.0-30.0
#100	150 um	< 10.0
#200	75 um	< 5.0

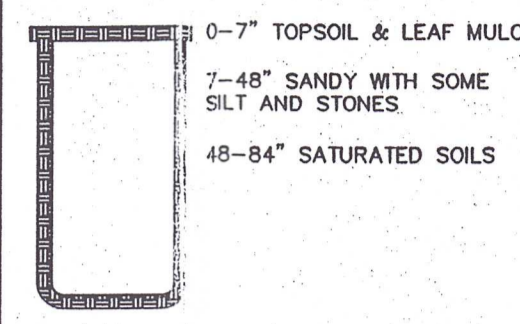
REQUEST A SIEVE ANALYSIS FROM YOUR MATERIAL SUPPLIER TO ENSURE THAT THE SYSTEM SAND MEETS THE SPECIFICATION REQUIREMENTS LISTED

- GENERAL NOTES:**
- ALL PROPOSED CONSTRUCTION SHALL CONFORM TO CONNECTICUT STATE DEPARTMENT OF HEALTH PUBLIC HEALTH CODE REGULATION AS AMENDED.
 - THE TEST RESULTS AND SOIL TYPES APPLY ONLY TO THE OBSERVATION PITS AND TEST HOLES SHOWN AND MAY NOT BE THE SAME FOR OTHER AREAS ON THE SITE. SUITABLE FIELD CONDITIONS SHOULD BE VERIFIED BY THE OWNER/INSTALLER FOR THE ENTIRE SYSTEM AREAS PRIOR TO INSTALLATION. TEST PIT LOCATIONS FROM APPROVED SUBDIVISION PLAN.
 - IF LEDGE, GROUNDWATER, OR MOTTLING ARE ENCOUNTERED AT SHALLOWER DEPTHS THAN SHOWN IN THE OBSERVATION PIT PROFILES OR SPECIFIED IN THE SYSTEM DESIGN DATA, THE SANITARIAN AND DESIGN ENGINEER SHALL BE CONTACTED IMMEDIATELY AND CONSTRUCTION HALTED UNTIL DIRECTED FURTHER.
 - TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO WELLS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
 - TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO SEPTIC SYSTEMS OR UNDERGROUND OIL TANKS WITHIN 75' OF THE PROPOSED WELL.
 - NO DEVIATIONS FROM THE APPROVED DESIGN PLAN SHALL BE ALLOWED WITHOUT THE PRIOR APPROVAL OF THE LOCAL HEALTH DEPARTMENT AND DESIGN ENGINEER. THE TOWN SANITARIAN OR LOCAL HEALTH AGENCY SHALL BE NOTIFIED PRIOR TO AND AFTER THE FOLLOWING (AS APPLICABLE) FOR INSPECTION:
 A. STRIPPING OF TOPSOIL AND SCARIFYING SURFACE.
 B. PLACEMENT OF FILL MATERIAL.
 C. PLACEMENT OF SEPTIC TANK.
 D. PLACEMENT OF SOIL PIPE.
 E. INSTALLATION OF LEACHING SYSTEM.
 - NO PORTION OF THE SEPTIC SYSTEM SHALL BE COVERED UNTIL APPROVED BY THE TOWN SANITARIAN OR LOCAL HEALTH AGENCY.
 - IF A CERTIFIED "AS-BUILT" DRAWING OF THE SEPTIC SYSTEM INSTALLATION IS REQUIRED FOR SUBMISSION TO THE LOCAL HEALTH DEPARTMENT OR AGENCY, THE DESIGN ENGINEER SHALL BE CONTACTED PRIOR TO BACKFILLING OF THE SEPTIC SYSTEM TO TAKE THE NECESSARY MEASUREMENTS.
 - ANY OIL TANK INSTALLATION SHALL BE INSIDE THE HOUSE UNLESS AN INGROUND LOCATION, MEETING ALL APPLICABLE STATE AND LOCAL CODES, IS APPROVED BY THE LOCAL HEALTH DEPARTMENT OR AGENCY.
 - ANY WATER SERVICE PIPE TO BE AT LEAST 10' AWAY FROM ALL SEWER APPURTENANCES.
 - ALL AREAS TO BE PROTECTED AGAINST EROSION DURING CONSTRUCTION USING STAKED HAY BALES AND/OR SILT FENCE AS REQUIRED. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED AS SOON AS POSSIBLE AFTER SYSTEM CONSTRUCTION.
 - ELEVATIONS HAVE BEEN FIELD VERIFIED IN THE SEPTIC & BUILD. AREAS.
 - ALL PIPING SHALL BE 4" SOLID PVC SDR 35 ASTM 3034 UNLESS OTHERWISE SPECIFIED.

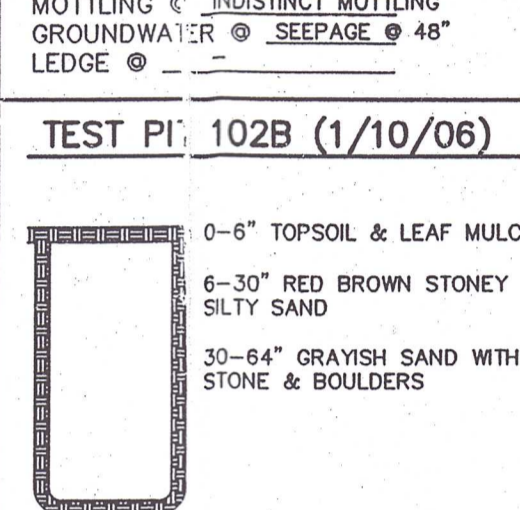
- INSTALLATION NOTES:**
- THE BOTTOM OF THE LEACHING SYSTEM MUST BE AT LEAST 18" ABOVE MAXIMUM GROUNDWATER AND 4' ABOVE LEDGE.
 - ALL LEACHING PIPES/CHAMBERS SHALL BE LAID WITH A SLOPE OF 2" PER 100 LINEAL FEET.
 - DISTRIBUTION BOXES TO BE PLACED IN UNDISTURBED SOIL OR COMPACTED GRAVEL TO BELOW FROST LINE.
 - TOPSOIL IS TO BE STRIPPED FROM SYSTEM AREA AND STOCKPILED TO BE USED AS FINAL COVER. EXPOSED SUBSOIL IS TO BE SCARIFIED PRIOR TO THE PLACEMENT OF ANY SELECT GRANULAR FILL AND INSTALLATION OF THE SYSTEM.
 - FILL MATERIAL, IF REQUIRED, SHALL BE GRANULAR MATERIAL FREE OF LOAM, SILT AND CLAY. NO MATERIAL LARGER THAN 3" SIEVE AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:
 WET SIEVE DRY SIEVE
 PASSING #4 SIEVE = 100% 100%
 PASSING #10 SIEVE = 70 - 100% 70 - 100%
 PASSING #40 SIEVE = 10 - 50%* 10 - 70%
 PASSING #100 SIEVE = 0 - 20% 0 - 5%
 PASSING #200 SIEVE = 0 - 5% 0 - 2.5%
 *PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.
 - GRANULAR FILL SHALL BE PLACED IN 6" LIFTS AND COMPACTED BY ROLLING OR MECHANICAL MEANS TO 90% OF STANDARD PROCTOR DENSITY PRIOR TO SYSTEM INSTALLATION.
 - THE PERCOLATION RATE OF COMPACTED IN PLACE FILL AND BACKFILL SHALL BE NO SLOWER THAN THE ORIGINAL RATE FOR THE LOT, AND, IN NO CASE, SLOWER THAN 20 MIN. PER INCH.
 - WHERE 18" OR MORE OF FILL IS REQUIRED, THE OWNER/INSTALLER SHALL PROVIDE THE FOLLOWING:
 A. SIEVE ANALYSIS PRIOR TO THE PLACEMENT OF MATERIAL.
 B. COMPACTION TESTS AFTER THE PLACEMENT OF MATERIAL.
 C. PERCOLATION TESTS IN THE COMPACTED MATERIAL PER THE REQUIREMENTS OF THE LOCAL SANITARIAN OR HEALTH AGENCY.
 - FINISHED GRADING OF THE LOT TO DIRECT SURFACE RUNOFF AWAY FROM THE AREA OF THE SYSTEM.



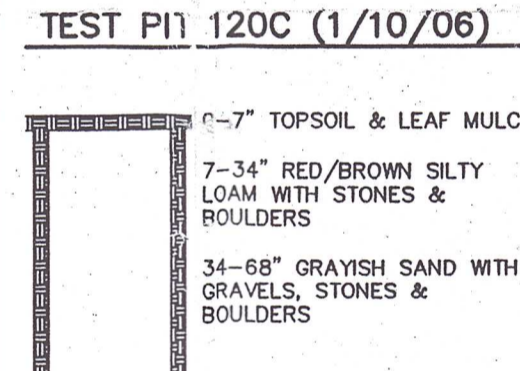
TEST PIT 120A (1/10/06)



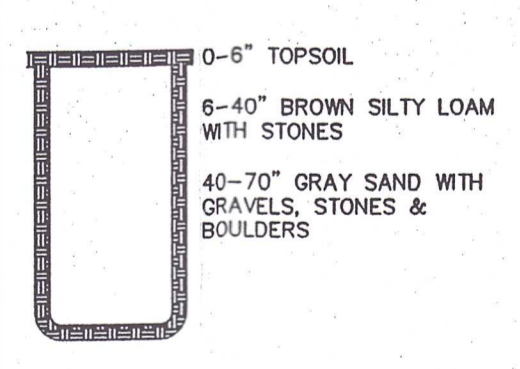
TEST PIT 102B (1/10/06)



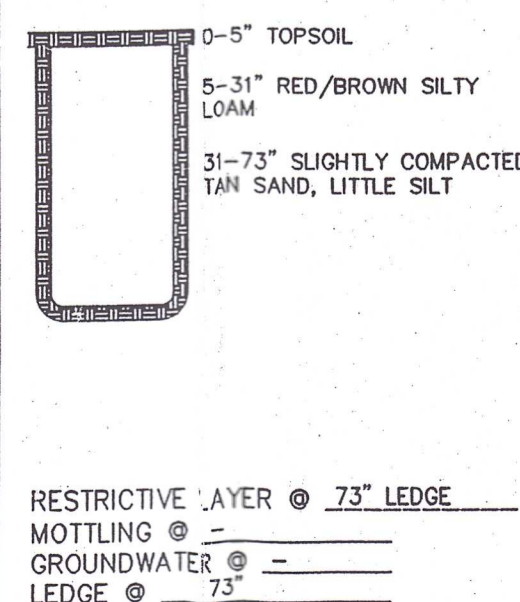
TEST PIT 120C (1/10/06)



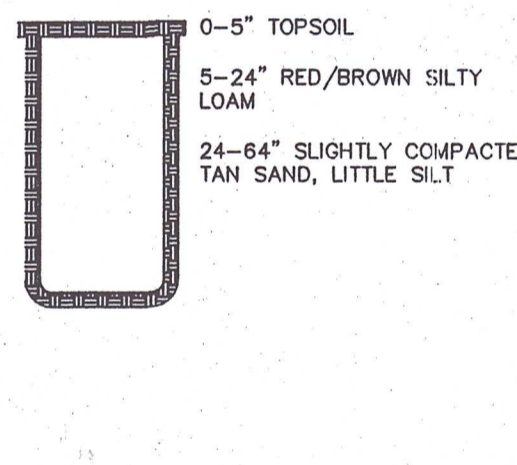
TEST PIT 120D (1/10/06)



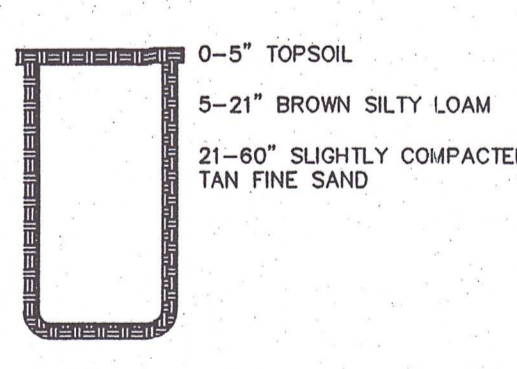
TEST PIT 00 (MARCH 2014)



TEST PIT 01 (MARCH 2014)



TEST PIT 02 (MARCH 2014)



PERC: PT-A (1/10/06) DEPTH: 1.5'

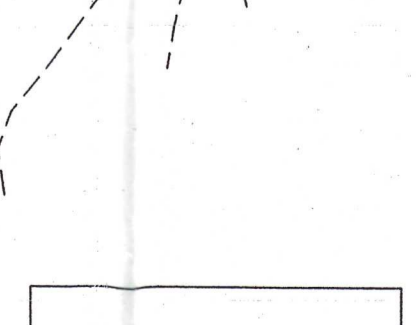
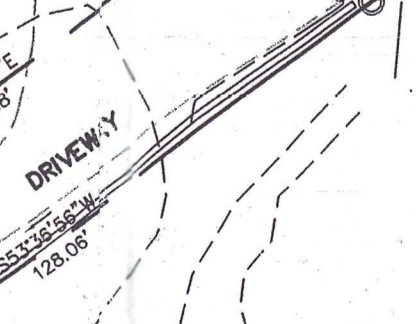
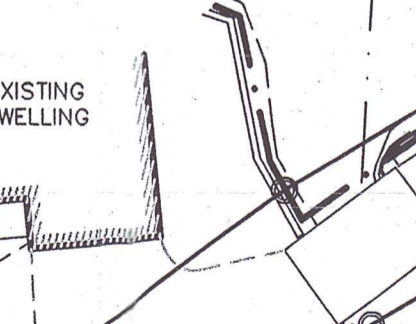
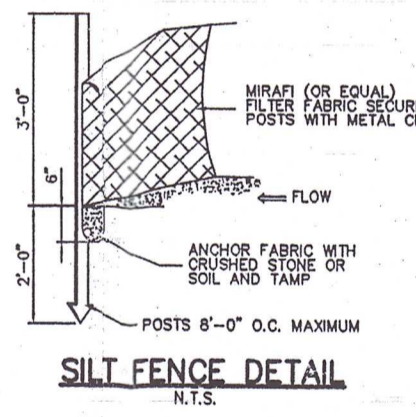
12:04	0.55'	1:28	1:03"
12:14	0.85'	1:38	1:58"
12:24	1.05'	1:48	1:8"
12:34	1.15'	1:58	1:9"
12:44	1.25'	2:08	2:0"
12:54	1.30'	2:18	2:1"
1:04	1.20'	2:28	2:18"

RATE = 1" IN 10 MIN.
 PERC: PT-B (1/10/06) DEPTH: 3.1'

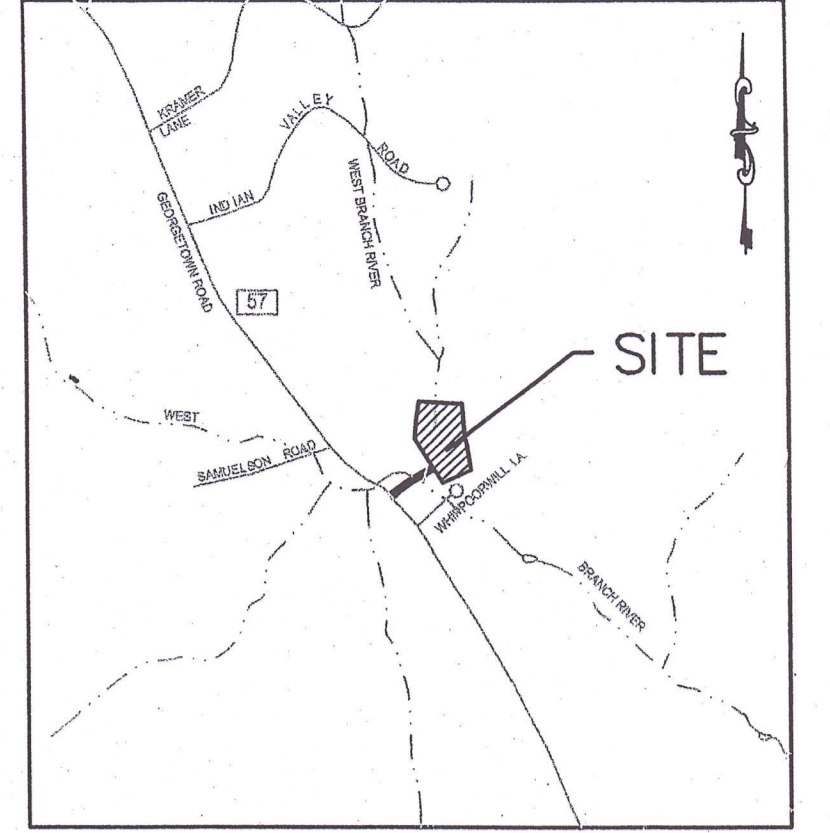
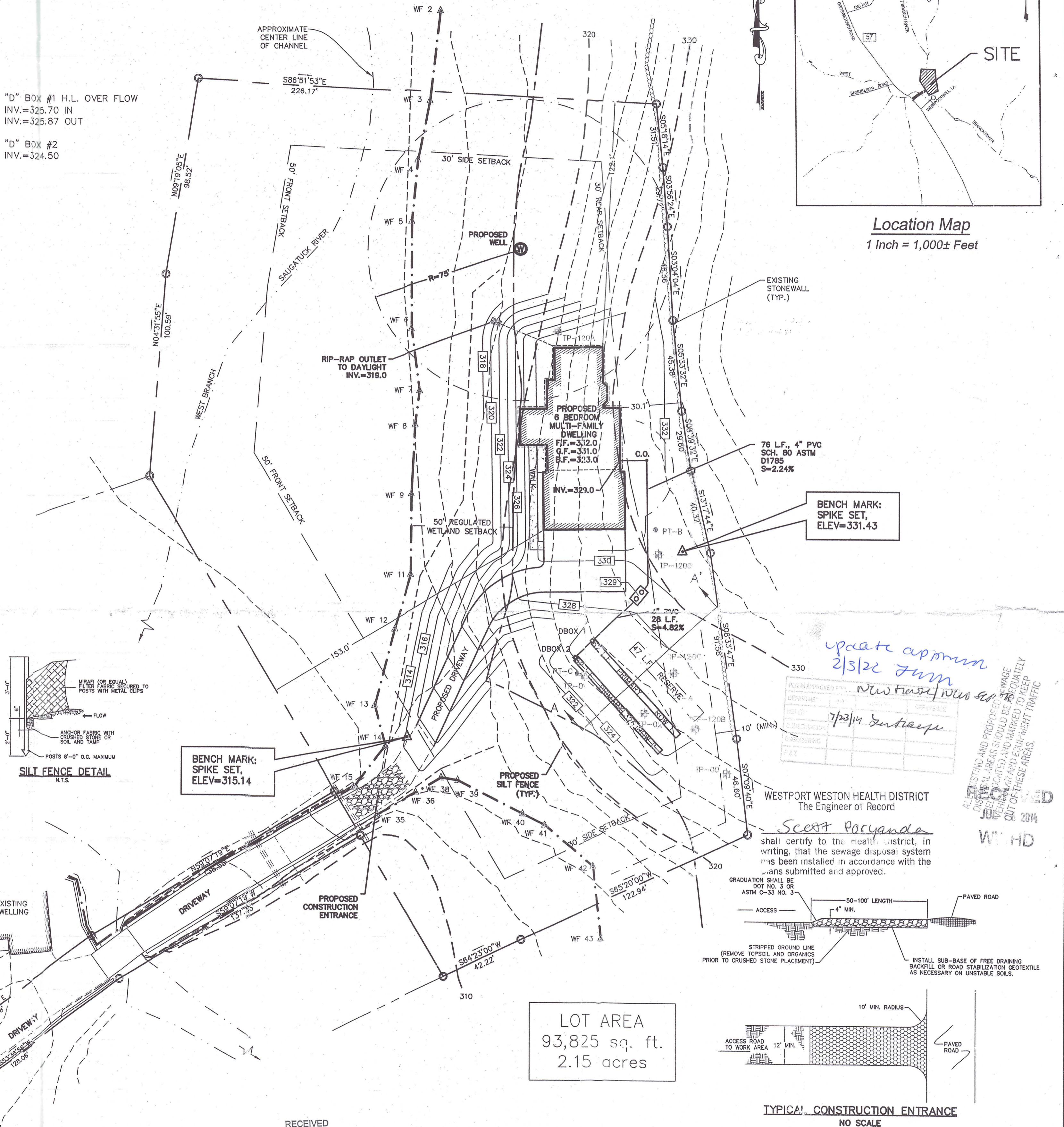
12:08	0.65'
12:18	0.75'
12:28	0.85'
12:38	0.95'
12:48	1.02'
12:58	1.10'
1:06	1.14'

RATE = 1" IN 14 MIN.

SEPTIC SYSTEM DESIGN ENGINEER FROM CONNECTICUT CONSULTING ENGINEERS, LLC WITNESSED TEST PITS 00, 01 AND 02 ON 5/2/14



ADDITIONAL E & S MEASURES AS DIRECTED BY DESIGN / CITY ENGINEER
 GARBAGE DISPOSALS AND LARGE CAPACITY TUBS EXCEEDING 100 GALLONS ARE NOT ALLOWED
 SEPTIC SYSTEM TO BE INSTALLED AS PER MFG. INSTRUCTIONS



Location Map
 1 Inch = 1,000± Feet

BENCH MARK: SPIKE SET, ELEV=331.43

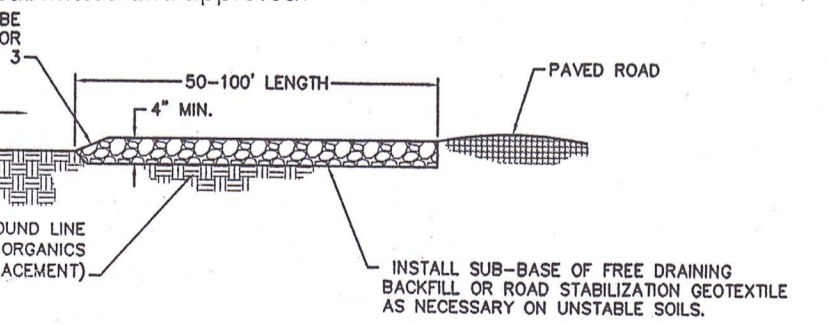
BENCH MARK: SPIKE SET, ELEV=315.14

LOT AREA
 93,825 sq. ft.
 2.15 acres

update approx 2/3/22 turn new fence lines set 7/23/14 entrance

WESTPORT WESTON HEALTH DISTRICT
 The Engineer of Record

Scott Poryanda shall certify to the health district, in writing, that the sewage disposal system has been installed in accordance with the plans submitted and approved.



RECEIVED
 JAN 24 2022
 WWHD

SCOTT D. PORYANDA P.E./L.S. #19299

LATEST REVISION: 6/19/14
CONNECTICUT CONSULTING ENGINEERS L.L.C.
 CIVIL ENGINEERS & SURVEYORS
 ONE PRESTIGE DRIVE SUITE 110 203-639-8636
 MERIDEN, CT. 06450 FAX 203-639-0022
 DRAWN BY JG/CK DESIGN BY JG CHECKED BY SDP
 DATE 6/17/13 SCALE 1" = 30' PROJ. NO. CCE 1118 CAD DRAW. NO. 1118

SEPTIC SYSTEM PLAN
 PREPARED FOR
WESTON I, LLC
 120 GEORGETOWN ROAD
 WESTON, CONNECTICUT

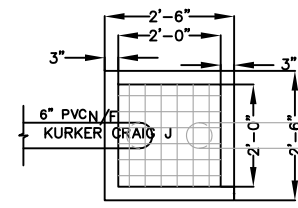
ZONING/DESIGN DATA

ZONE	SECTION	REQUIRED	ACTUAL	CLAIMED EXEMPTIONS/VARIANCES
R-2A				
MIN. LOT AREA	321.4	2 AC.	2.15 AC.	--
MIN. RECTANGLE	321.5	170' x 200'	170' x 200'	--
MIN. LOT FRONTAGE	321.5	25 FT.*	25.44 FT.	--
SETBACKS	321.6	--	--	--
FRONT	321.6	50 FT.	178.6 FT.	--
SIDE	321.6	30 FT.	143.8 FT.	--
REAR	321.6	30 FT.	31.0 FT.	--
FARMING STRUCTURES	321.1	100 FT.	--	--
MAX. BLDG. COVERAGE	321.7	15%	--	--
MAX. BLDG. HEIGHT	321.8	35%	4.8%	--

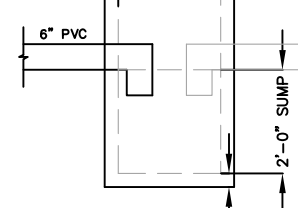
* 321.5(b) ONE LOT WITH A MINIMUM FRONTAGE OF 25 FEET

NOTES:

- DEED REFERENCE:
- MAP/LOT: 3 1 20
- ZONE: R-2AC
- PROPERTY SUBJECT TO FLOOD ZONE AE, BFE VARIES (SEE MAP REFERENCE 5)
- NO TREES 12" OR GREATER TO BE REMOVED FOR DEVELOPMENT



TOP VIEW
N.T.S.



ELEVATION VIEW
N.T.S.

2'x2' YARD DRAIN
N.T.S.

- NOTES:**
- REINFORCING STEEL WELDED WIRE FABRIC CONFORMS TO LATEST ASTM SPECIFICATION A185.
 - REINFORCING STEEL DEFORMED BARS CONFORM TO LATEST ASTM SPECIFICATION A615.
 - CONCRETE COMPRESSIVE STRENGTH - 4000 PSI AT 28 DAYS.
 - METHOD OF MANUFACTURE: MET. CAST.
 - SECTION IS MONOTONIC.
 - DESIGN LOAD: ASHTO H-20.
 - UNITED CONCRETE PRODUCTS, INC. OR EQUAL.

MAP REFERENCES:

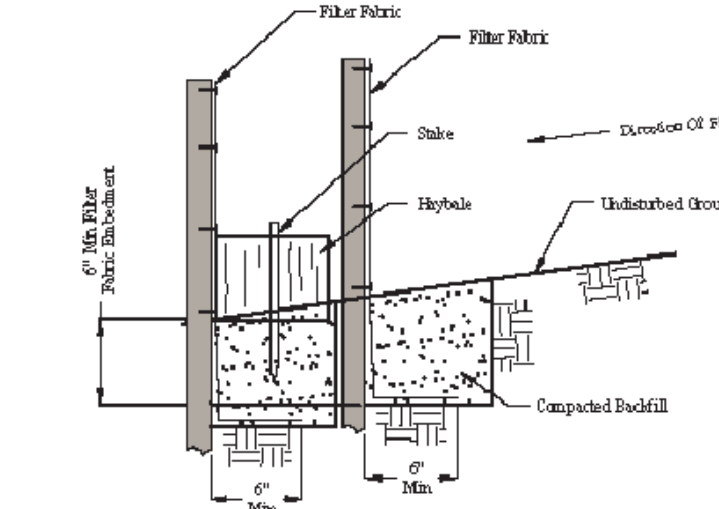
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- MAP ENTITLED, "SEPTIC SYSTEM PLAN", SCALE: 1"=30', DATED: 6/17/13, PREPARED BY CONNECTICUT CONSULTING ENGINEERS
- TOWN OF TOPOGRAPHY MAP, SHEET NO. 9, SCALE: 1"=200', DATE OF MAPPING: AUGUST 1981.
- FIRM MAP - CITY OF WESTON MAP NUMBER: 09001C0381F, EFFECTIVE: JUNE 18, 2010, PANEL 381 OF 626, SCALE: 1"=500'
- ARCHITECTURAL PLANS PROVIDED BY THE BLINDERS PREPARED BY JTH BUILDERS LLC. 203-983-7790, INFO@JTHBUILDERSLLC.COM

ELIEN MANTIS SPECIFIED SAND REQUIREMENTS

ALL MANTIS INSTALLATIONS UTILIZE A SPECIFIED SAND ENVELOPE AROUND MANTIS UNITS. 6" MINIMUM UNDERNEATH, 6" MINIMUM ON THE SIDES, 1" MINIMUM ON TOP, AND 3" BETWEEN THE SUPPORT MODULES OF THE MANTIS UNITS. THE MANTIS SPECIFIED SAND SPECIFICATION IS LISTED BELOW:

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#50	300 um	5.0-30.0
#100	150 um	< 10.0
#200	75 um	< 5.0

REQUEST A SIEVE ANALYSIS FROM YOUR MATERIAL SUPPLIER TO ENSURE THAT THE SYSTEM SAND MEETS THE SPECIFICATION REQUIREMENTS LISTED



DOUBLE SILT FENCE W/ HAYBALE
N.T.S.

SURVEYOR'S GENERAL NOTES:

- THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE "RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS APPROVED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC. 1996.
- THE TYPE OF SURVEY PERFORMED IS A PROPERTY SURVEY.
- THE BOUNDARY DETERMINATION IS BASED UPON A DEPENDENT RESURVEY, SEE MAP REFERENCE.
- THIS SURVEY CONFORMS TO A CLASS "A-2" SURVEY.

"TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."

Scott D. Poryanda



SCOTT D. PORYANDA P.E./L.S. #19299

LOT AREA
93,825 sq. ft.
2.15 acres

APPLICANT
TODD & HELENA BLINDER
211 CLARIMONT TERRACE
ORANGE N.J, 07050

OWNER
WESTON 1 LLC
205 WILLOW BROOK AVE
STAMFORD CT, 06902

LATEST REVISION: 4/18/2022

CONNECTICUT CONSULTING ENGINEERS L.L.C.
CIVIL ENGINEERS & SURVEYORS

ONE PRESTIGE DRIVE SUITE 110
203-639-8636

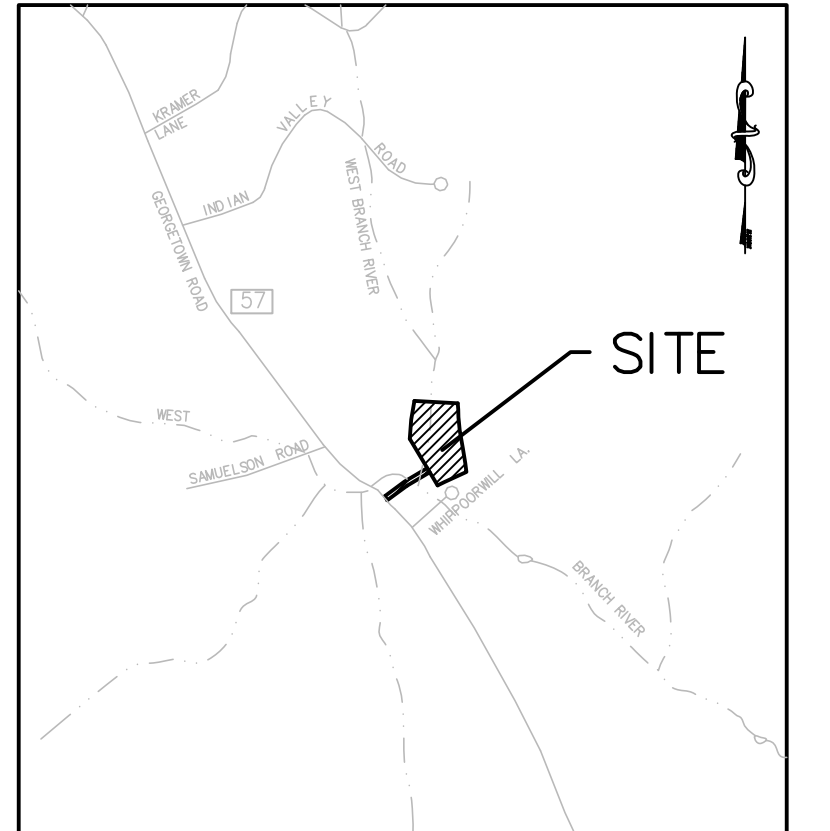
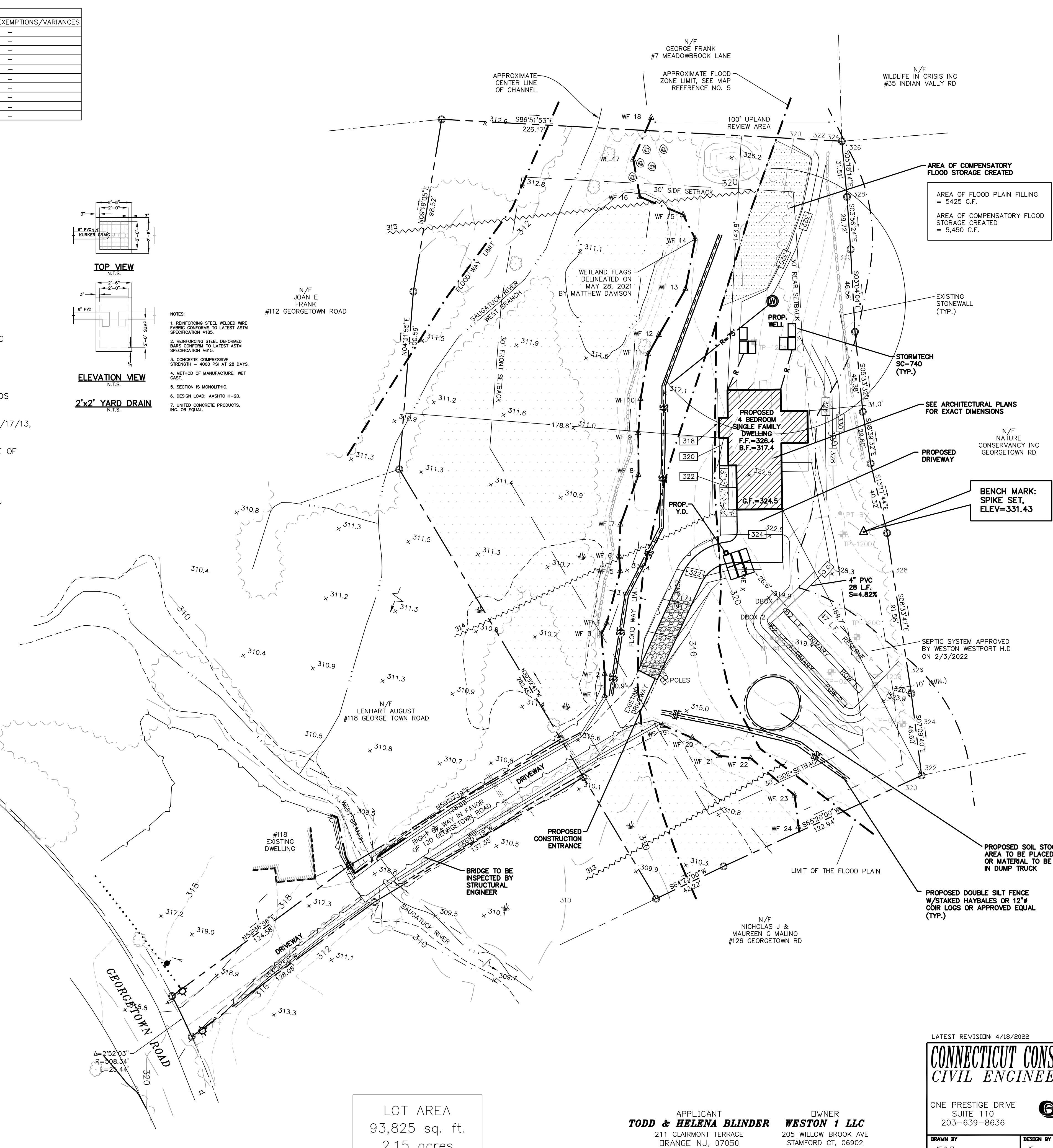
MERIDEN, CT. 06450
FAX 203-639-0022

GCE

DRAWN BY JG/LD	DESIGN BY JG	CHECKED BY SBP
DATE 6/18/21	SCALE 1" = 30'	PROJ. NO. CCE 2021
		CAD DRW. NO. 2135

SITE PLAN

PREPARED FOR
TODD & HELENA BLINDER
120 GEORGETOWN ROAD
WESTON, CONNECTICUT

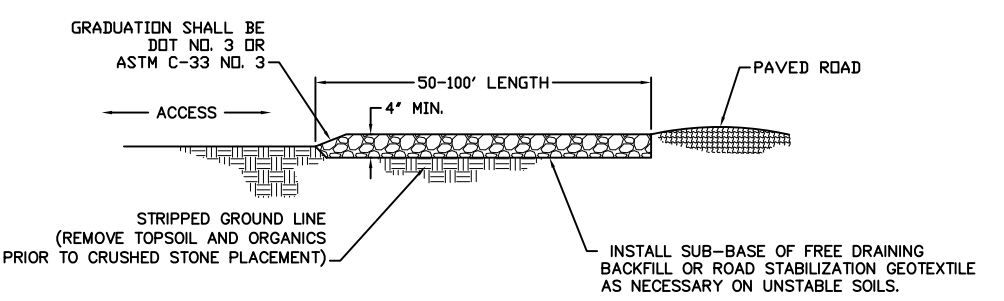


Location Map
1 Inch = 1,000± Feet

CONSTRUCTION SEQUENCE:

- PURSUANT TO THE EROSION & SEDIMENTATION CONTROL PLAN, NOTIFY THE MUNICIPAL CONSERVATION OFFICER AND/OR THE PLANNING AND ENGINEERING DEPARTMENTS ONE (1) WEEK BEFORE OF ONSET OF CONSTRUCTION ACTIVITY.
- ESTABLISH EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN ON PLAN PRIOR TO CONSTRUCTION. ALL CONSTRUCTION SHALL CONFORM TO CONNECTICUT FORM 816.
- CALL BEFORE YOU DIG 1-800-922-4455
- BEGIN SITE DEVELOPMENT, BUILDING FOUNDATION EXCAVATION, GRADING, ETC.
- STAKE AND PLACE FOUNDATION, BEGIN BUILDING DEVELOPMENT.
- CONSTRUCT SEPTIC SYSTEM, WELL, YARD DRAIN; PROTECT YARD DRAIN WITH STAKED HAY BALES, IF NECESSARY, TRAP ANY SEDIMENT THAT ACCUMULATES DURING CONSTRUCTION.
- PLACE AND GRADE BANKS; PROVIDE SLOPE STABILIZATION AT 2:1 BANKS (IF REQUIRED).
- FINISH GRADE AND PLACE GRAVEL BASE FOR PAVED AREAS. (IF APPLICABLE).
- FINISH GRADE SITE; SPREAD TOP SOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION; STABILIZE ALL SLOPES.
- REMOVE SEDIMENT AND DISPOSE OF OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
- REMOVE ANTI-TRACKING PAD, REPAIR ANY DAMAGE TO CURBING. AFTER DISTURBED AREAS HAVE HAD VEGETATION RE-ESTABLISHED, SILTATION BARRIERS SHALL BE REMOVED.

SUGGESTED SEED MIXTURE	LBS/AC	LBS/1000 SF
KENTUCKY BLUE GRASS	20	0.45
CREeping RED FESCUE	20	0.45
PERENNIAL RYE GRASS	5	0.10
	45	1.00



TYPICAL CONSTRUCTION ENTRANCE
NO SCALE

SEPTIC SYSTEM DESIGN DATA

DATE OF TESTING: 1/10/06, 3/14, 5/2/14
PROPOSED # OF BEDROOMS = 4
OBSERVED PERCOLATION RATE: TEST A 10 MIN/IN TEST B 14.4 MIN/IN
DESIGN PERCOLATION RATE: TEST C 16 MIN/IN TEST D 10 MIN/IN

- A. ALL PROPOSED CONSTRUCTION SHALL CONFORM TO CONNECTICUT STATE DEPARTMENT OF HEALTH PUBLIC HEALTH CODE REGULATION AS AMENDED.
B. THE TEST RESULTS AND SOIL TYPES APPLY ONLY TO THE OBSERVATION PITS AND TEST HOLES SHOWN AND MAY NOT BE THE SAME FOR OTHER AREAS ON THE SITE.

- LEGEND: Observation Pit, Perc. Test Hole, Existing Contours, Proposed Contours, Porous Fill Material, Proposed Wall, Exist. Storm drain With Motored Joists

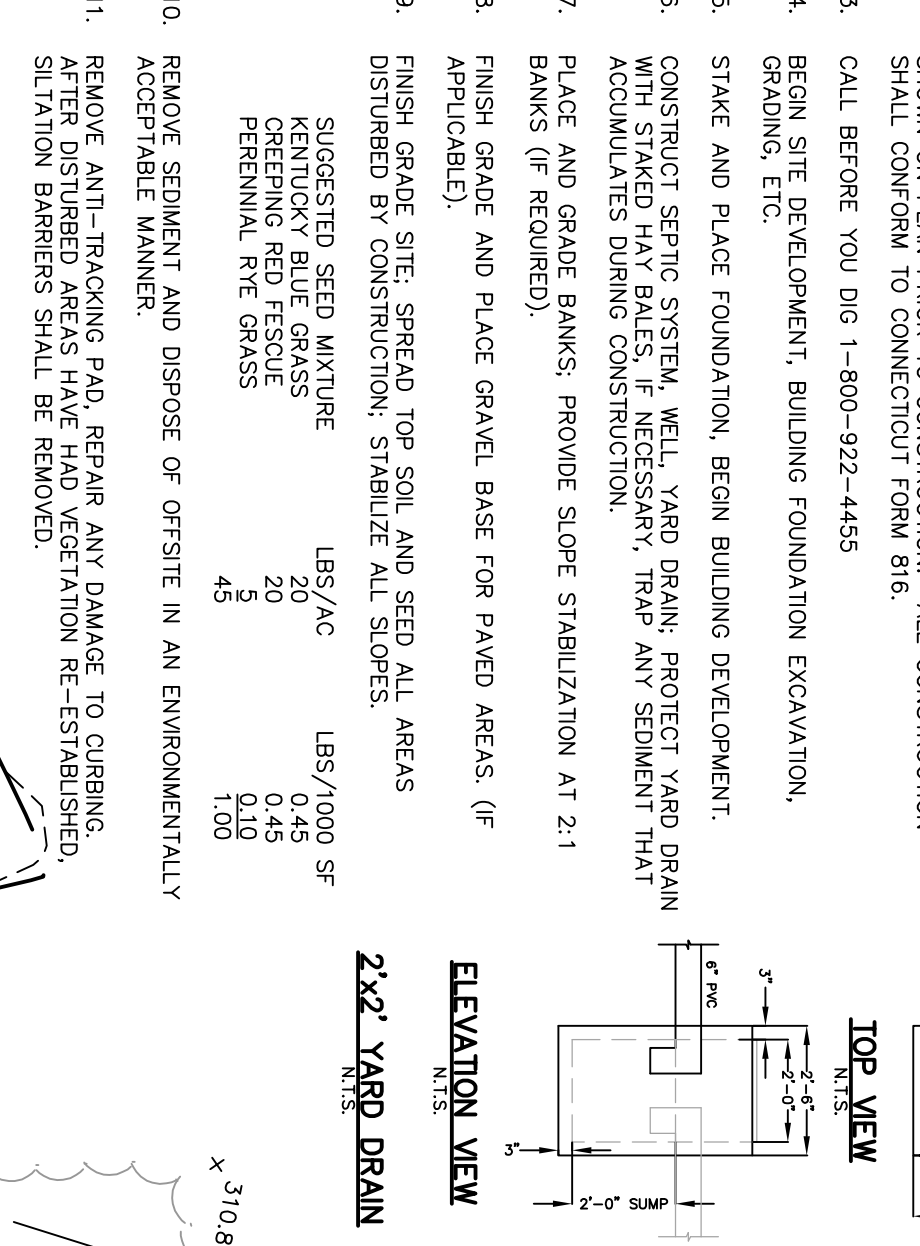
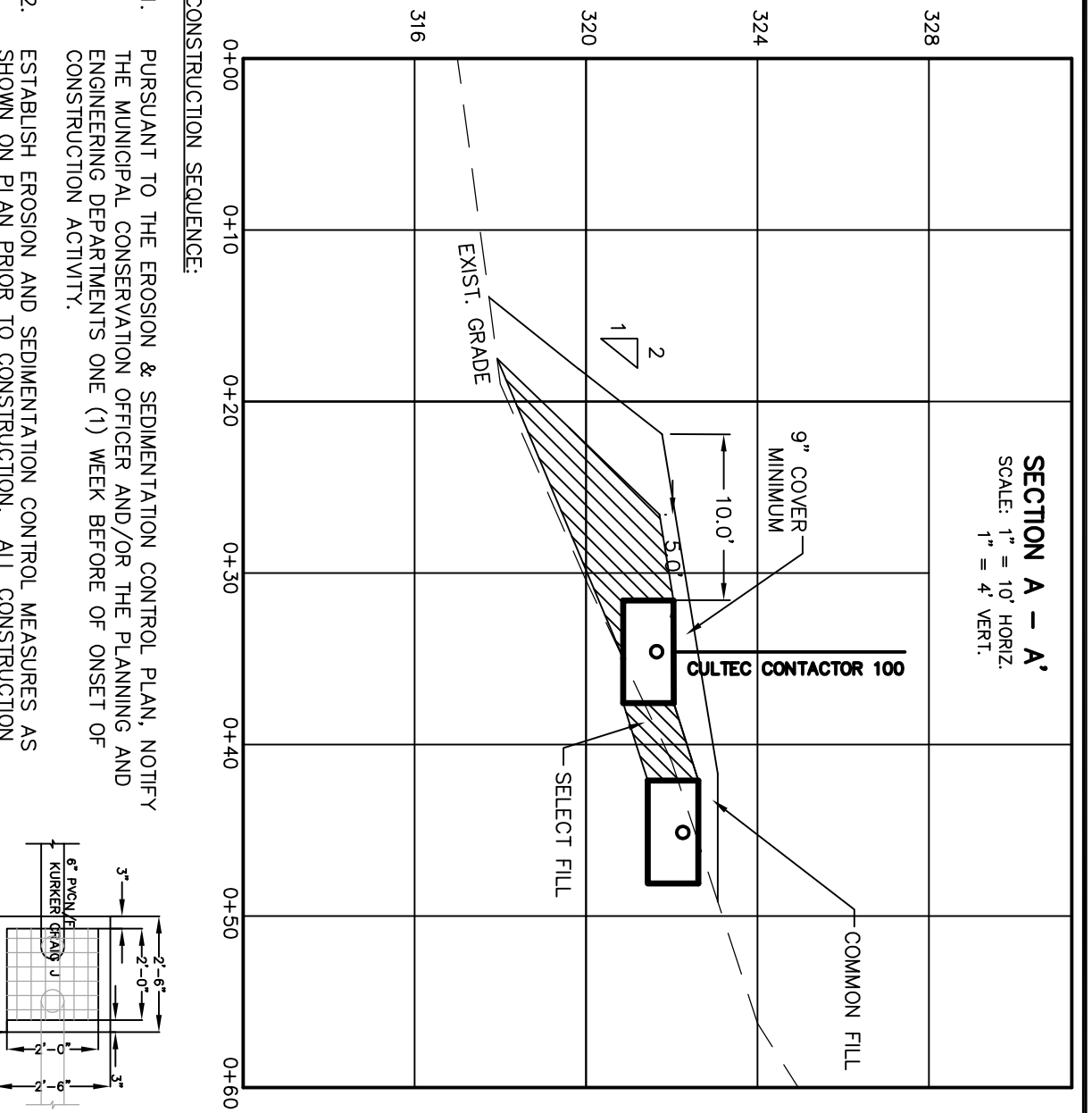
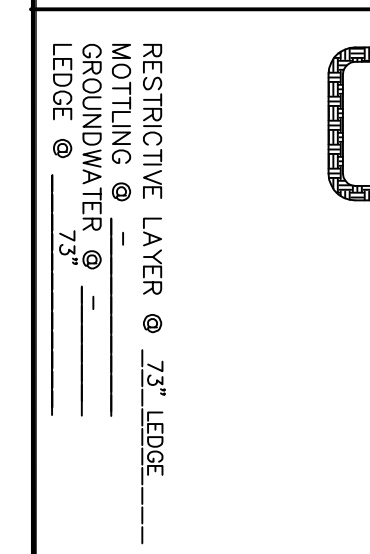
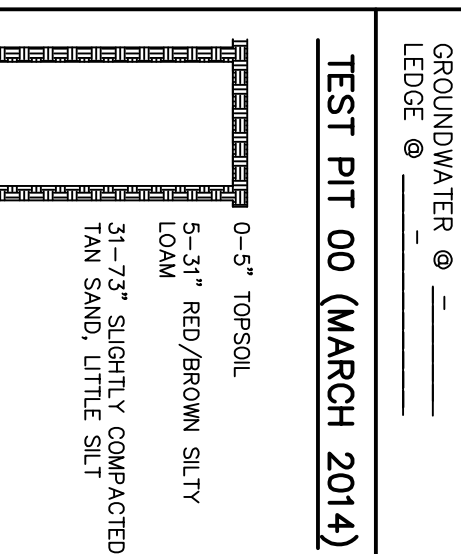
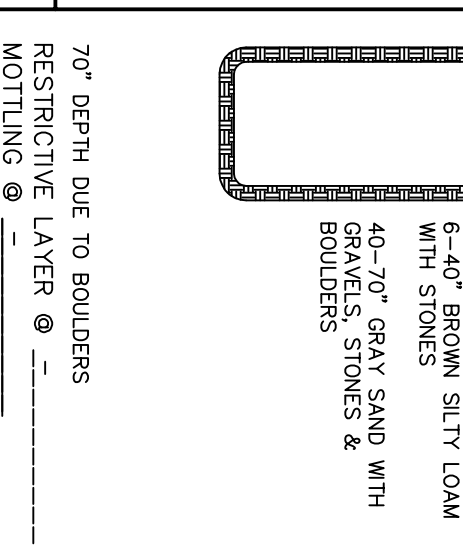
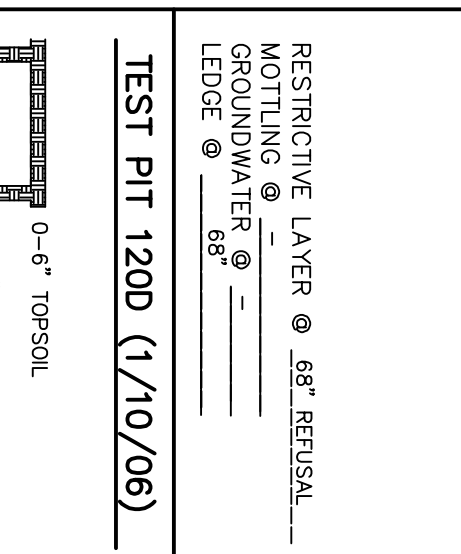
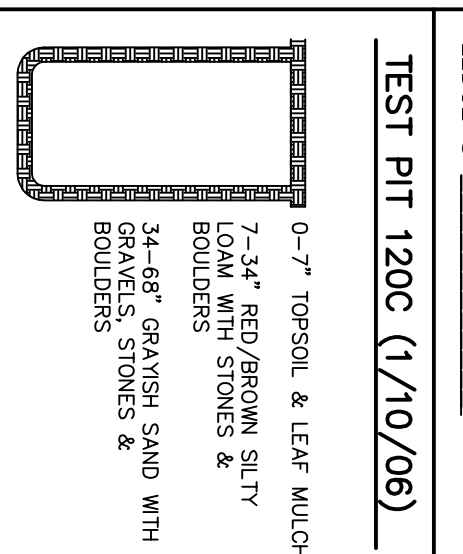
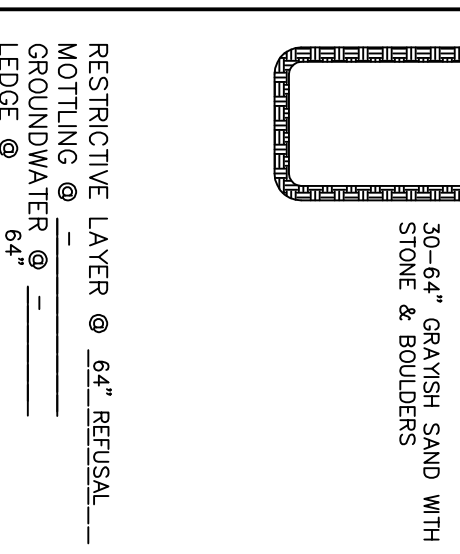
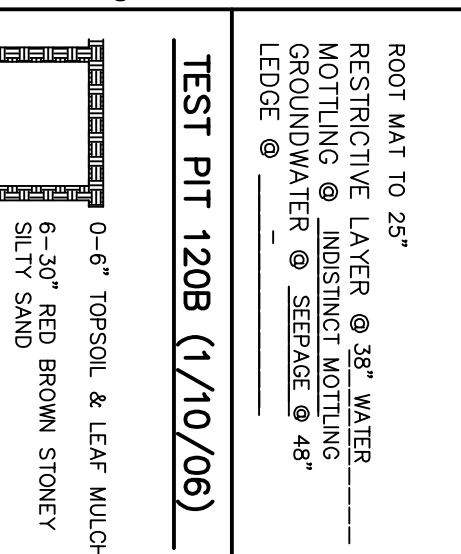
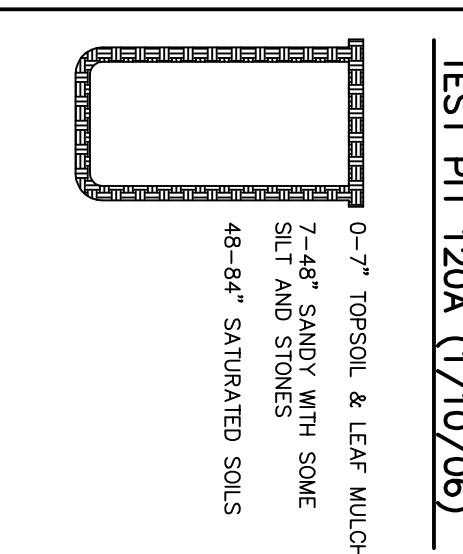
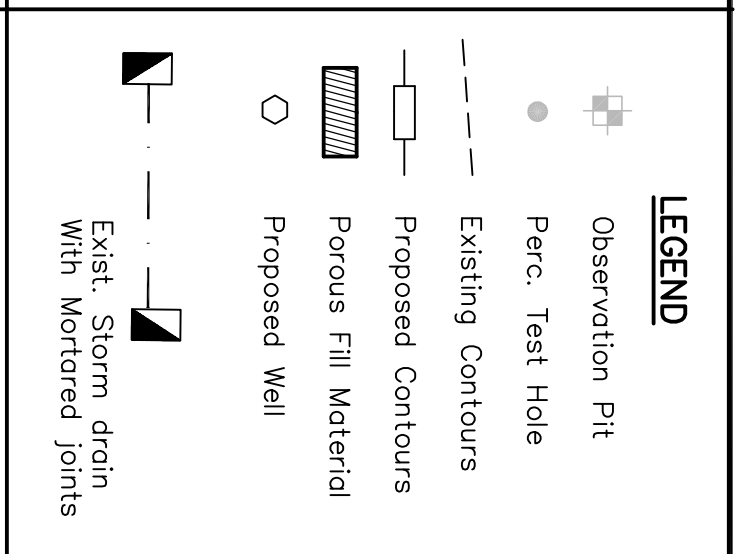
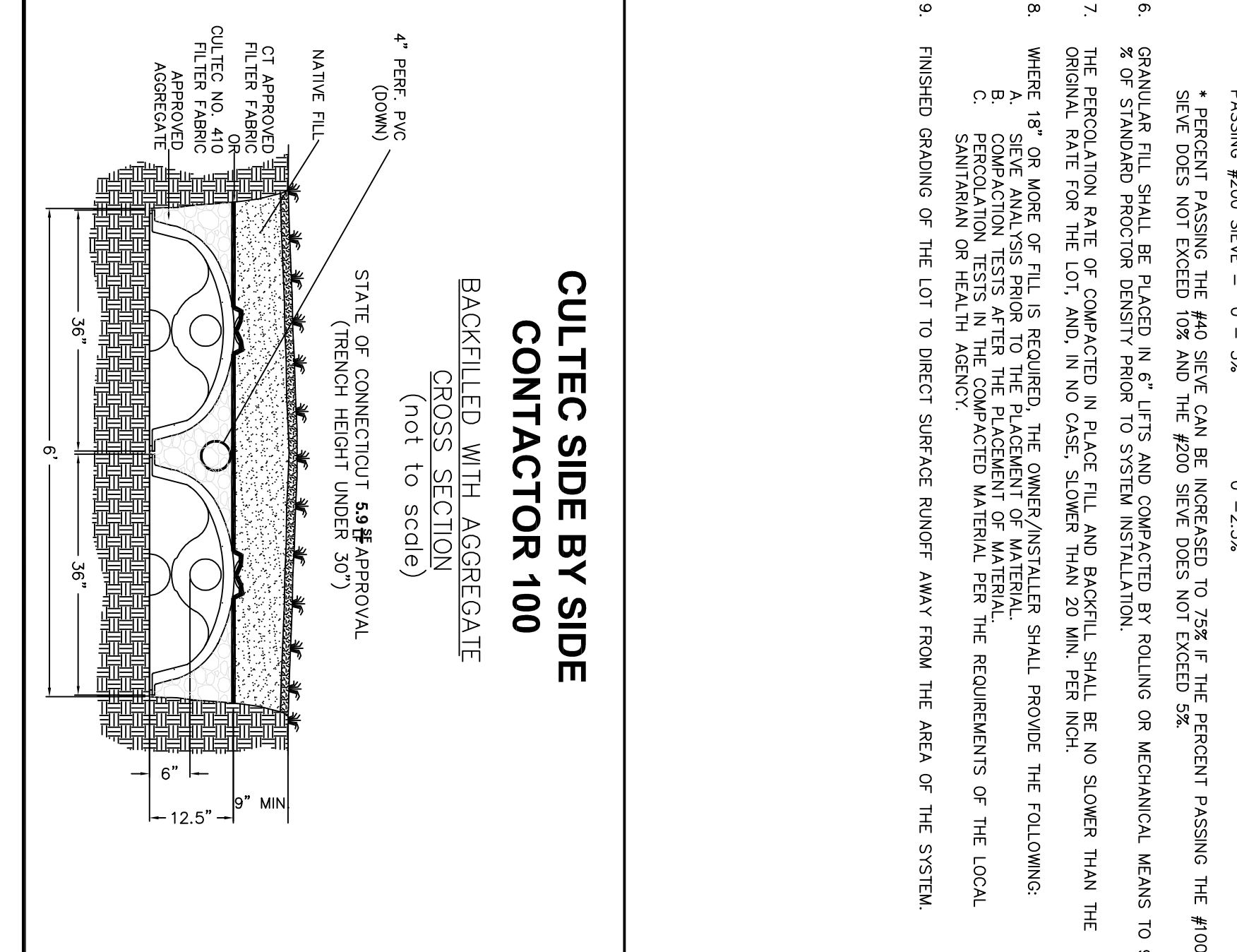
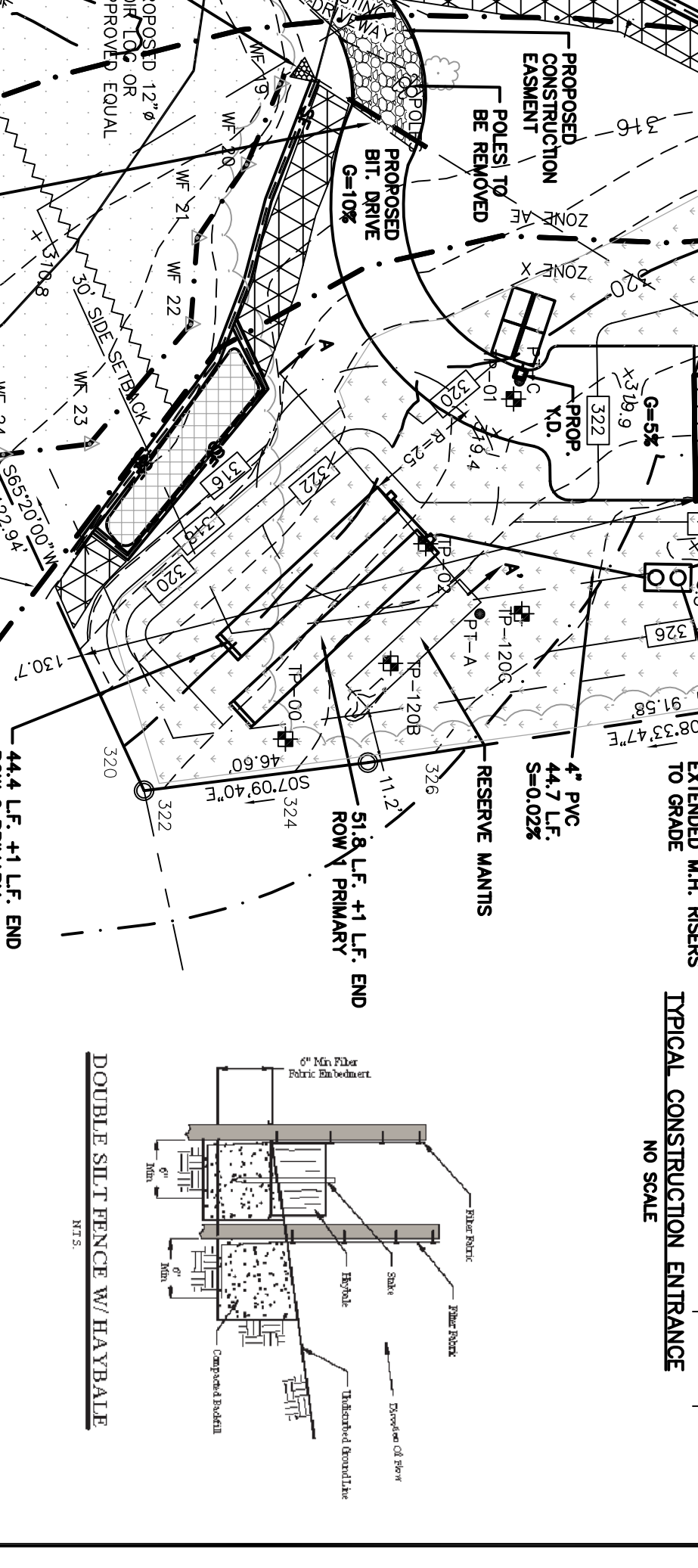
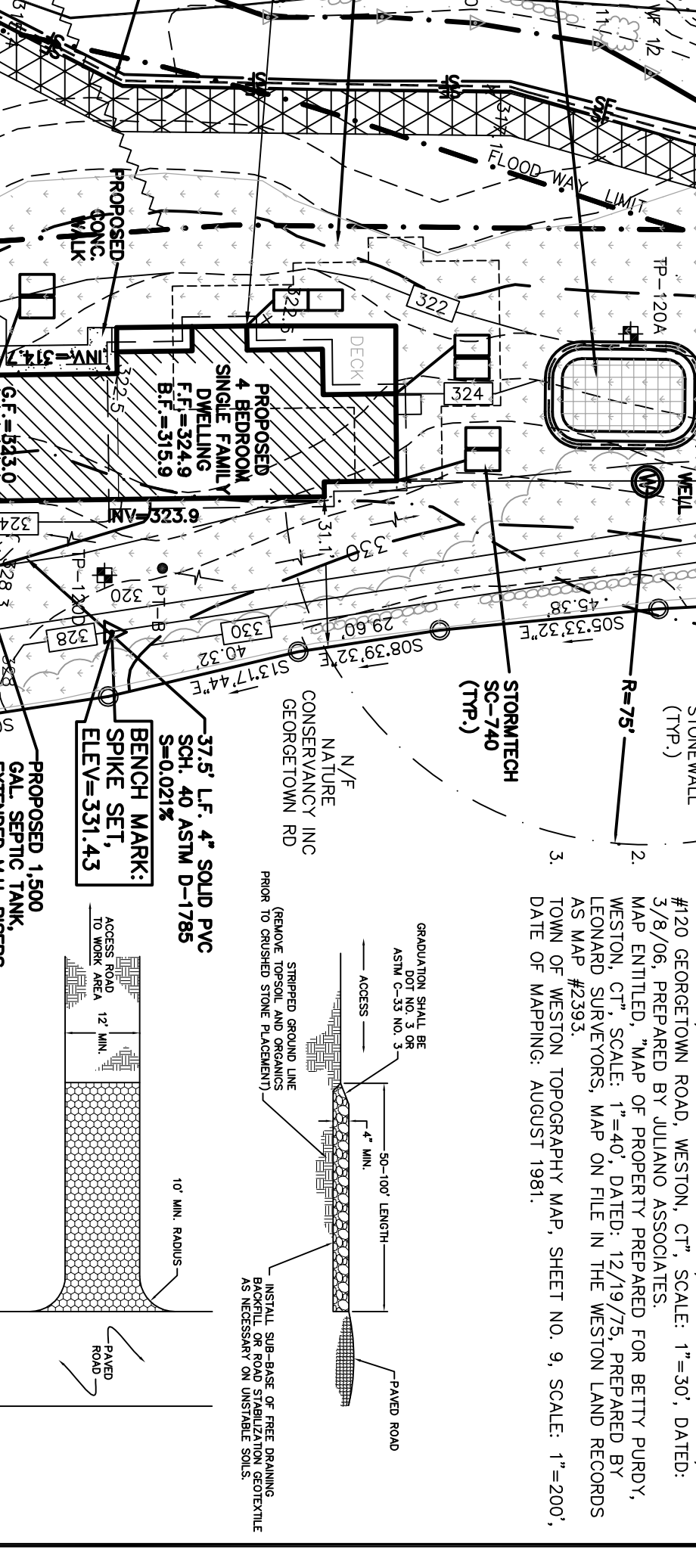
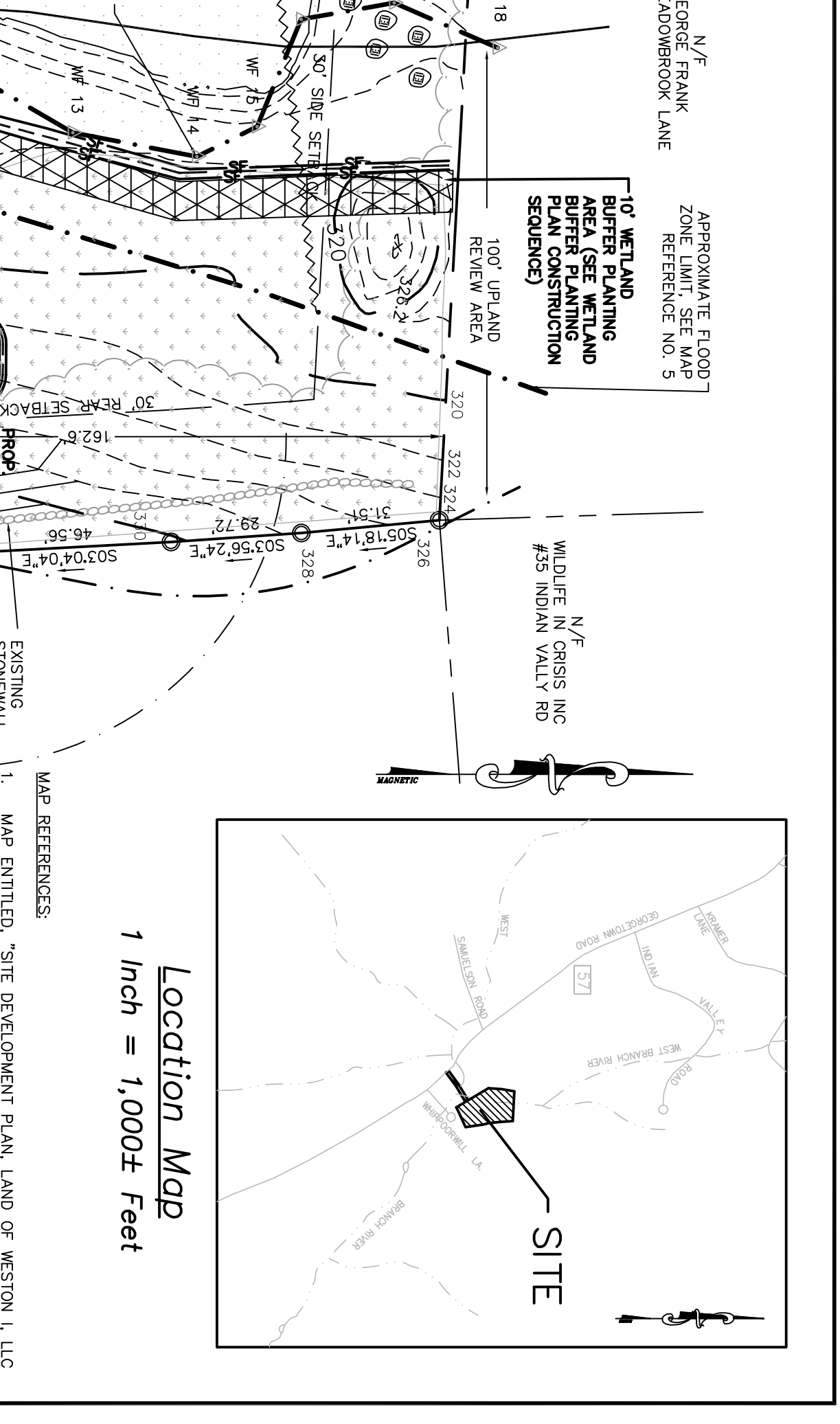
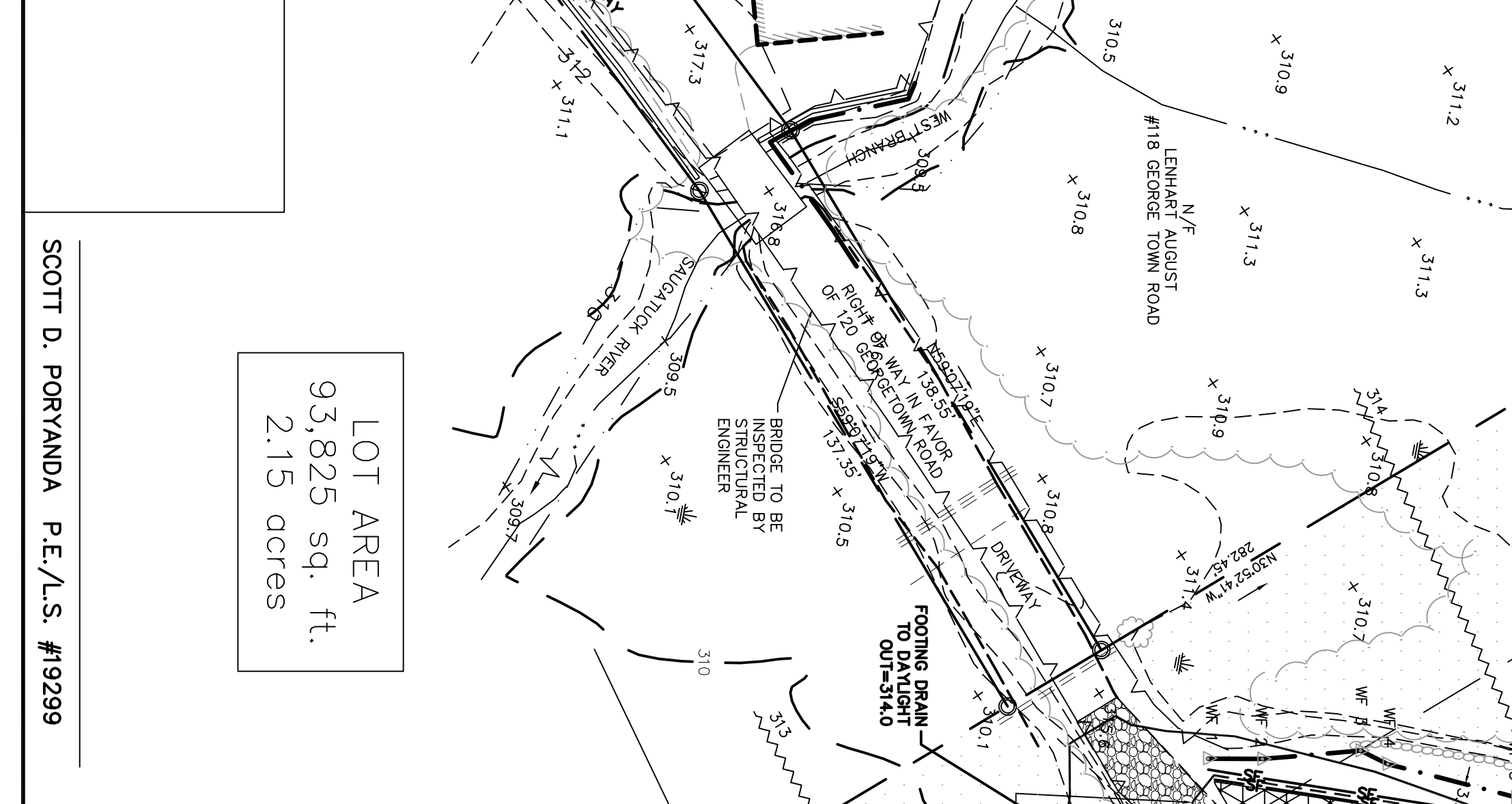
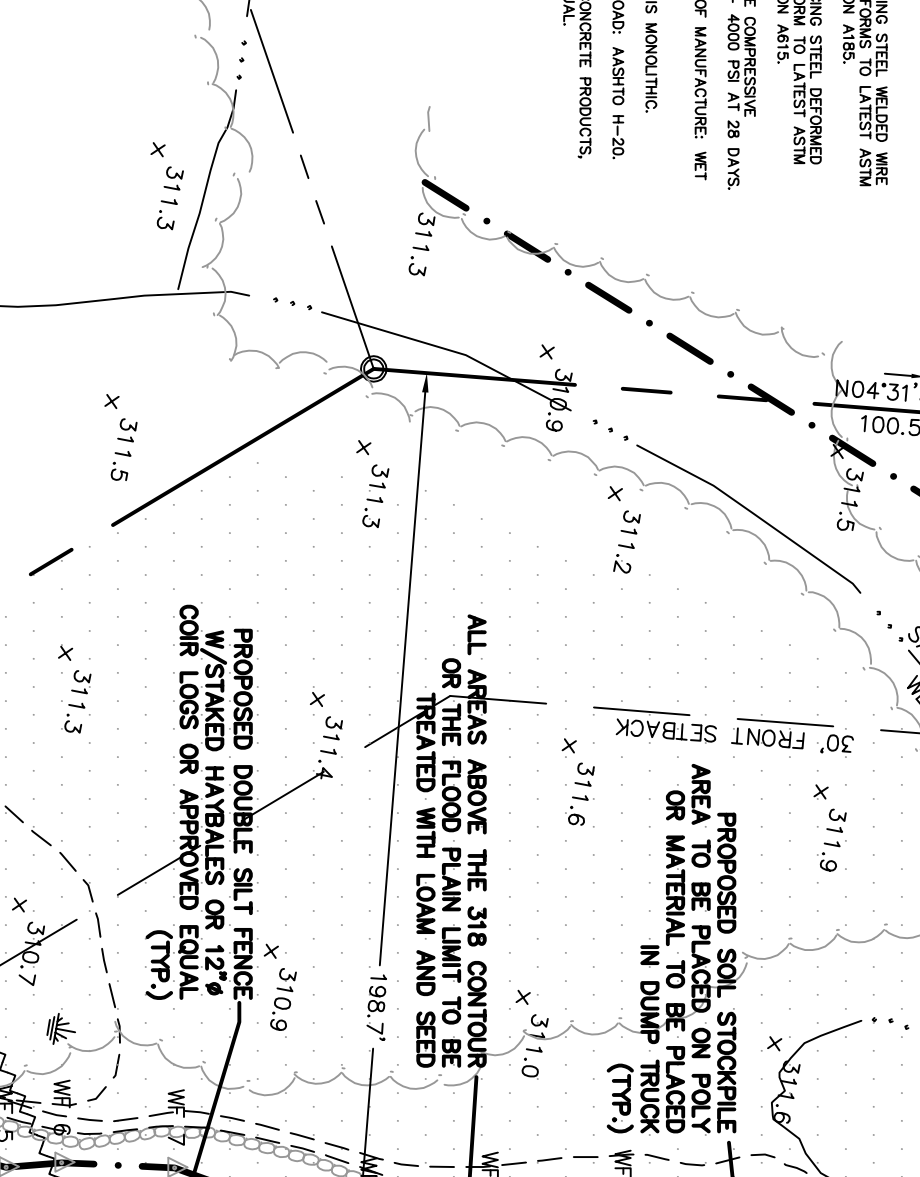
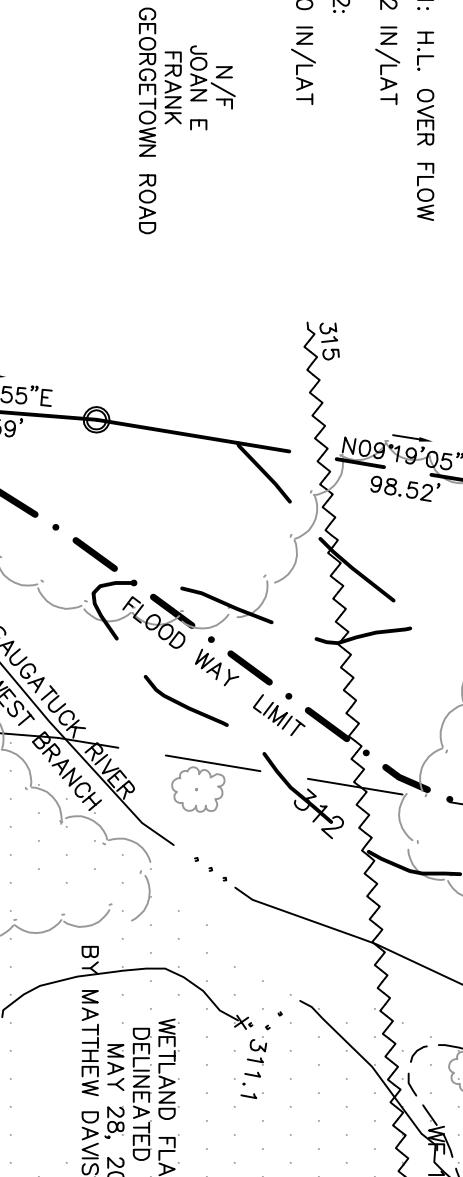


Table with columns for test pits (TEST PIT 00, TEST PIT 01, TEST PIT 02) and soil layer descriptions with depths and material types.

ADDITIONAL E & S MEASURES AS DIRECTED BY DESIGN / CITY ENGINEER

CHARGE DISPOSAL AND LARGE CAPACITY TUBS EXCEEDING 100 GALLONS ARE NOT ALLOWED
SEPTIC SYSTEM TO BE INSTALLED AS PER MFG. INSTRUCTIONS



ZONING/DESIGN DATA table with columns for ITEM, LOT AREA, MIN. LOT AREA, MIN. RECTANGLE, MIN. LOT FRONTAGE, SETBACKS, SIDE, REAR, FARMING STRUCTURES, MAX. BLDG. HEIGHT, and REQUIRED vs ACTUAL values.

WETLAND BUFFER PLANTING PLAN CONSTRUCTION SEQUENCE

1. PRIOR TO ALL WORK, EROSION CONTROL BARRIERS SHALL BE INSTALLED AS DETAILED ON THE EROSION & SEDIMENTATION CONTROL PLAN.
2. ALL PLANTINGS TO BE SPACED RANDOMLY, AT THE MINIMUM RECOMMENDED SPACING, TO SIMULATE NATURAL GROWTH PATTERNS.
3. ADDITIONAL SHRUB PLANTINGS OR SUBSTITUTIONS MAY BE UTILIZED IF THE SPECIES USED ARE NATIVE AND SPACING SIMULATES NATURAL GROWTH PATTERNS. SPECIES NOT SPECIFIED SHALL NOT BE USED WITHOUT WRITTEN APPROVAL FROM THE TOWN.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CAREFUL INSTALLATION, MAINTENANCE (INCLUDING WATERING), AND ESTABLISHMENT OF NATIVE PLANT MATERIAL IN THESE AREAS. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR TO REMAIN ALIVE AND HEALTHY FOR A FULL TWELVE (12) MONTH PERIOD.
5. THE EROSION CONTROL BARRIERS SHALL BE DISASSEMBLED FOLLOWING SUCCESSFUL STABILIZATION OF THIS AREA. SEDIMENT COLLECTED BY THESE DEVICES WILL BE REMOVED AND DISPOSED OF IN A MANNER THAT PREVENTS EROSION AND TRANSPORT TO A WATERWAY OR WETLAND.

WETLAND BUFFER PLANTING SCHEDULE

<u>SHRUBS</u>	<u>COMMON NAME</u>	<u>WET. IND. STAT.</u>	<u>SIZE</u>	<u>SPACING</u>	<u>#</u>
<i>AMELANCHIER CANADENSIS</i>	SHADBLOW	FAC	4 – 6'	10' MIN	2
<i>ARONIA MELANOCARPA</i>	BLACK CHOKEBERRY	FAC	3 – 4'	6' MIN	10
<i>CEANOTHUS AMERICANUS</i>	NEW JERSEY TEA	FACU-	2 – 3'	4' MIN	20
<i>CORNUS SERICEA</i>	RED-OSIER DOGWOOD	FACW+	3 – 4'	6' MIN	10
<i>ILEX VERTICILLATA</i>	WINTERBERRY	FACW+	3 – 4'	6' MIN	10
<i>SPIRAEA LATIFOLIA</i>	MEADOWSWEET	FAC+	2 – 3'	4' MIN	20
<i>VIBURNUM LENTAGO</i>	NANNYBERRY	FAC	4 – 6'	10' MIN	2