

August 22, 2023

20 Hillcrest Application Extension

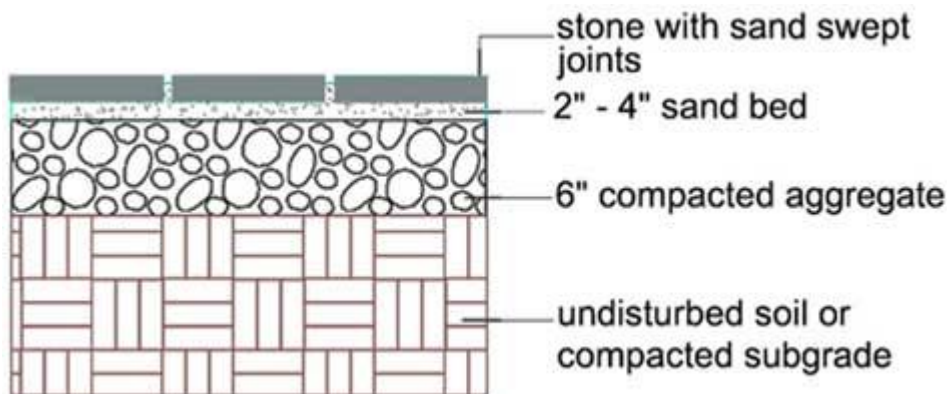
To: Commissioners

From: Tom Failla

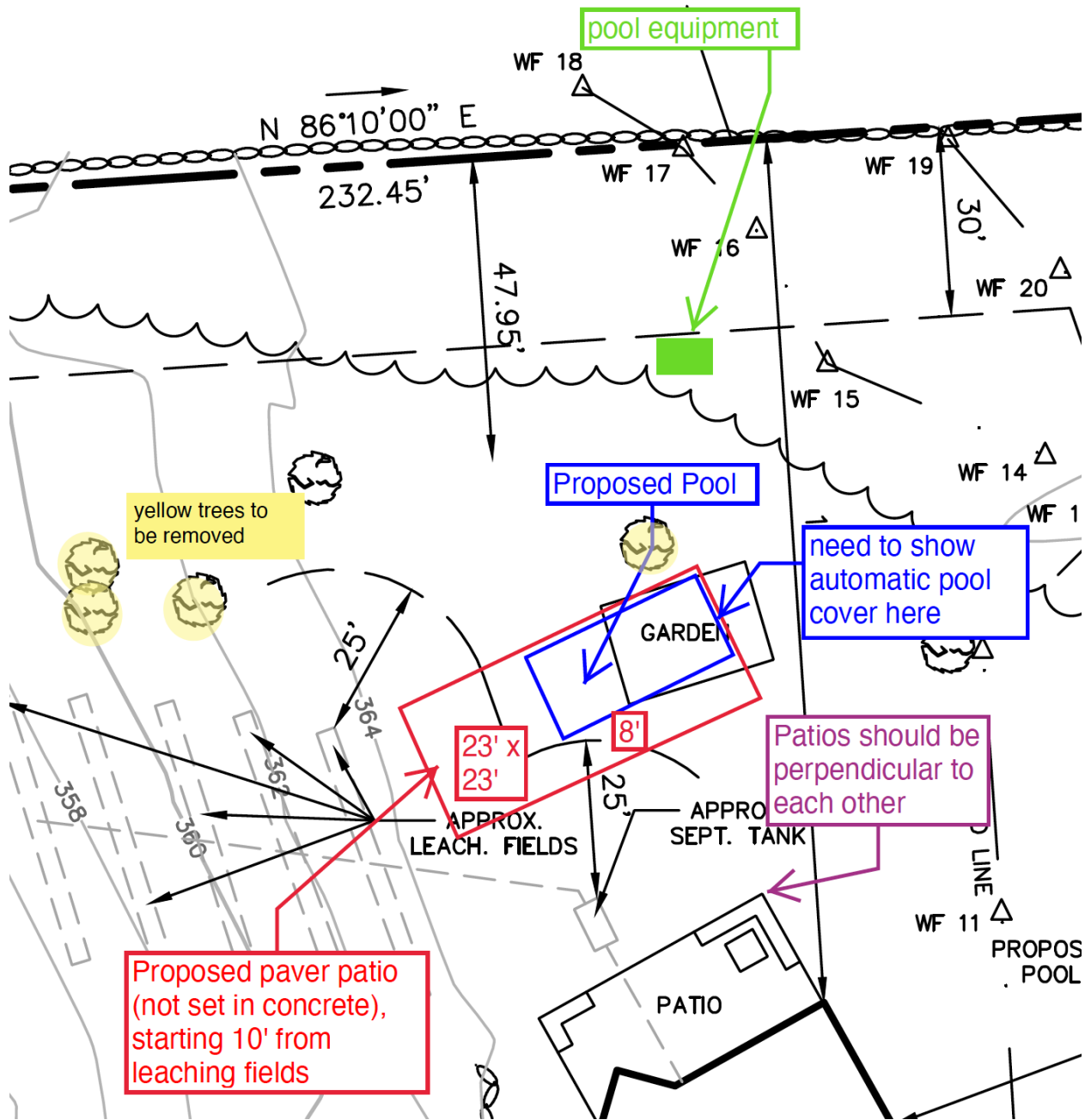
The agent for the applicant at 20 Hillcrest for a pool did not appear July 20 because more time was needed to respond to questions at the initial discussion June 20 and because the applicant decided to add a patio.

Because the 65 days for deliberation ran out right after the July 20 meeting, the agent requested an extension, which would allow consideration through the current Aug. 24 meeting but not the next regularly scheduled meeting Sept. 28. Since then, the applicant engaged the services of professional engineer to design a drainage system to balance additional run off on the property from a proposed 400 sq. ft patio by picking up roof run off and directing it to an infiltration system in another area where it could be accommodated.

Subsequently, the applicant decreased the patio to about one-third the original proposal, which is now being presented. Given that the patio is smaller and further away from the wetlands and in area of the property near a play set that will be removed, I recommend that the commission consider whether the drainage infiltration system is needed and to rely on the relatively small size of the patio and its distance across lawn and the vegetated wetland edge to buffer run off adequately without an infiltration system in another part of the property. Should the commissioners want to consider an alternative previously approved for another larger pool patio, a system that allows infiltration under the patio would also mitigate any effects on the wetland. See illustrations that follow:



41 Langner Lane Pool Paver Patio with underlayment detail Feb. 2023



in2t1L i d JSign

inspred svimn,iing p:xi and lands00P21 deiSign

[www.in2bluedesign.com](http://www.in2bluedesign.com)

[nick@in2bluedesign.com](mailto:nick@in2bluedesign.com)

144 Water Street Unit 5

Norwalk, Ct. 06854

203-939-9777

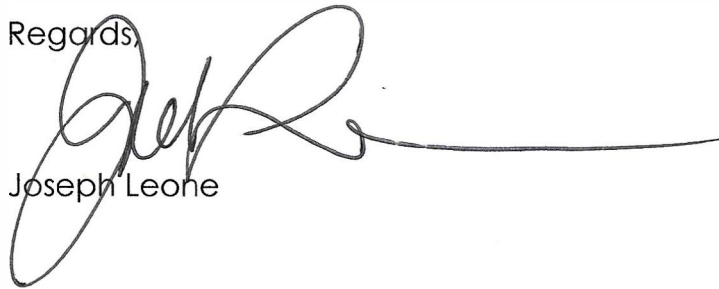
May 9, 2023

Town of Weston  
Inland Wetlands and Watercourse Area  
56 Norfield Road  
P.O. Box 1007  
Weston, CT 06883

To Whom it May Concern,

This letter is authorization for Nick Vitiello of in2blue design LLC to construct a new swimming pool at my residence, 20 Hill Crest Lane in Weston, CT.

Regards,

A handwritten signature in black ink, appearing to read 'Joseph Leone', with a long horizontal flourish extending to the right.

Joseph Leone

A) J/  
Nick Vitiello  
Owner



Incorporated 1787

Conservation Commission

### INLAND WETLANDS AND WATERCOURSES APPLICATION

This Application is for a five-year permit to conduct a regulated activity or activities pursuant to the Inland Wetlands and Watercourses Regulations of the Town of Weston ("The Regulations")

PROPERTY ADDRESS: 20 HILLCREST LANE, WESTON CT. D0003

Assessor's Map# 5 Block# J Lot# 1b

PROJECT DESCRIPTION (general purpose) Construct a 40' x 20' gunite in-ground pool with spa inside pool with auto cover and mechanicals.

Total Acres 2.0? Total Acres of Wetlands and Watercourses J. 1 Lf S'S f

Acreage of Wetlands and Watercourses Altered 0.5 Upland Area Altered 8&? > P:

Acres Linear Feet of Stream Alteration 11111 Total Acres Proposed Open Space al cv

OWNER(S) OF RECORD: (Please list all owners, attach extra sheet if necessary)

Name: Joseph Leone Phone: 847.3. <aoi:1

Address: 20 Hillcrest Lane, Weston CT 06093

Email: Joseph.leone@jrlfi.com

APPLICANT/AUTHORIZED AGENT:

Name: Nicholas Vitiello - in 2 blue des, go Phone: 103-72-21122

Address: 11-11 Wedder Shee + j sic, 6, Norwalk CT 06891

Email: 0(cj<@in"J.b/ju des, jo

CONSULTANTS: (Please provide, if applicable)

Engineer: Grumman Engineering Phone: 53. 383 ?

Address: 22 Knight St, Norwalk CT 06854 Email: dk@lra.com

Soil Scientist: Alexandra Moch Phone: 1.0 567 1313

Address: 13 Webb Ave, Stratford CT 06902 Email: aleksandra.moch@yahoo.com

Legal Counsel: — Phone: —

Address: — Email: —

Surveyor: Dan Laferriere Phone: 203. 898.6429 213.1871

Address: 31 W. Dayton Hill Rd Email: dane@allseasonslandsurveying.com  
Wallingford CT 06492

**PROPERTY INFORMATION**

Property Address: 20 Hillcrest Lane Weston CT 06883

Existing Conditions (Describe existing property and structures): —

Single Family Residence

Provide a detailed description and purpose of proposed activity (attach sheet with additional information if needed): Construct a 40'x20' gunite in-ground pool and spa (inside pool), autocover and mechanicals.

Is this property within a subdivision (circle): Yes or (No)

Square feet of proposed impervious surfaces (roads, buildings, parking, etc.): —

Subject property to be affected by proposed activity contains:

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> wetlands soils | <input type="checkbox"/> bog  |
| <input type="checkbox"/> swamp                     | <input type="checkbox"/> lake or pond                               |
| <input type="checkbox"/> floodplain                | <input checked="" type="checkbox"/> stream or river                 |
| <input type="checkbox"/> marsh                     | <input checked="" type="checkbox"/> other <u>sloping wet meadow</u> |

The proposed activity will involve the following within wetlands, watercourse, and/or review area:

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> Alteration                      | <input checked="" type="checkbox"/> Construction | <input type="checkbox"/> Pollution         |
| <input type="checkbox"/> Discharge to                    | <input type="checkbox"/> Discharge from          | <input type="checkbox"/> Bridge or Culvert |
| <input checked="" type="checkbox"/> Removal of Materials | <input type="checkbox"/> Deposition of Materials | <input type="checkbox"/> Other <u>—</u>    |

Amount, type, and location of materials to be removed, deposited, or stockpiled:  
All material from pool excavation will be taken off site. 20 yards of fill to be stockpiled.

Description, work sequence, and duration of activities:  
See attached sequence. The duration of construction is approximately two months.

Describe alternatives considered and why the proposal described herein was chosen:  
No alternatives are available based on wetlands and septic locations. This is the only place the pool can be built.

Does the proposed activity involve the installation and/or repair of an existing septic system(s) (circle): Yes or No

The Westport/Weston Health District Approval: See separate approval attached

**ADJOINING MUNICIPALITIES AND NOTICE:**

If any of the situations below apply, the applicant is required to give written notice of his/her application to the Inland Wetlands Agency of the adjoining municipality, on the same day that he/she submits this application. Notification must be sent by Certified Mail with Return Receipt Requested.

The property is located within 500 feet of any town boundary line;

A significant portion of the traffic to the completed project will use streets within the adjoining municipality to enter or exit the site;

A portion of the water drainage from the project site will flow through and significantly impact the sewage system or drainage systems within the adjoining municipality; or

Water runoff from the improved site will impact streets or other municipal or private property within the adjoining municipality

**AQUARION WATER COMPANY**

Pursuant to Section 8.4 of the Weston regulations, the Aquarion Water Company must be notified of any regulated activity proposed within its watersheds. Maps showing approximate watershed boundaries are available at the office of the Commission. If the project site lies within these boundaries, send notice, site plan, and grading and erosion control plan via certified mail, return receipt requested, within seven (7) days of submitting application to the Commission, to:

George S. Logan, Director – Environmental Management  
Aquarion Water Company  
714 Black Rock Turnpike  
Easton, CT 06612

The Commissioner of the Connecticut Department of Public Health must also be notified in the same manner in a format prescribed by that commissioner.

The undersigned, as owner(s) of the property, hereby consents to necessary and proper inspections of the above mentioned property by Commissioners and agents of the Conservation Commission, Town of Weston, at reasonable times, both before and after a final decision has been issued by the Commission.

The undersigned hereby acknowledges to have read the "Application Requirements and Procedures" in completing this application.

The undersigned hereby certifies that the information provided in this application, including its supporting documentation is true and he/she is aware of the penalties provided in Section 22a-376 of the Connecticut General Statutes for knowingly providing false or misleading information.



Signature of Owner(s) of Record

4-28-23

Date

Signature of Authorized Agent

4-28-23

Date

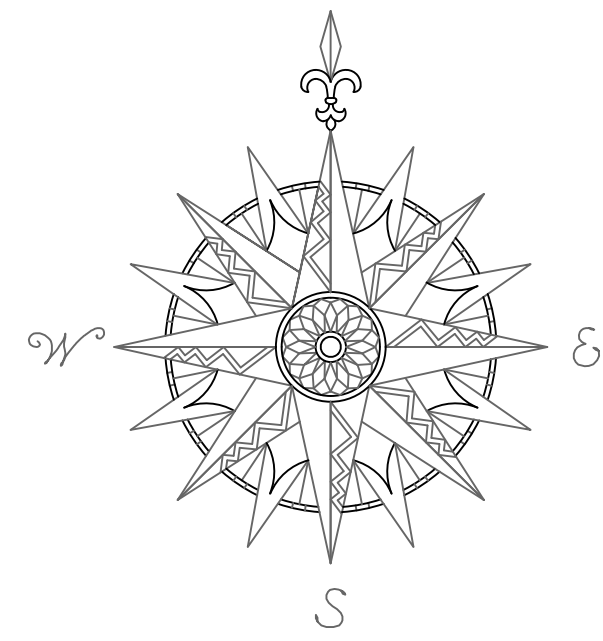
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**FOR OFFICE USE ONLY**

Administrative Approval

Initials

Date

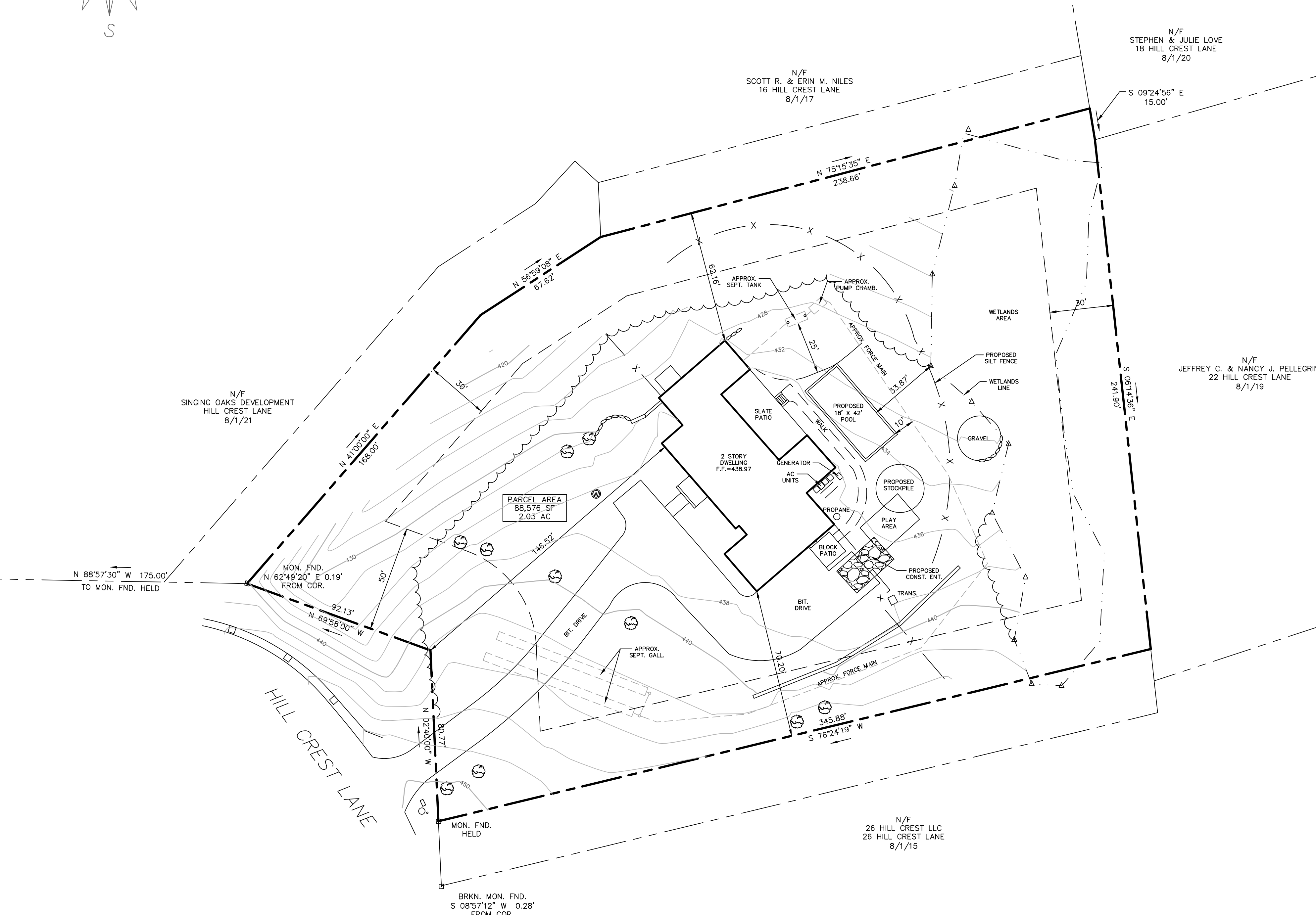
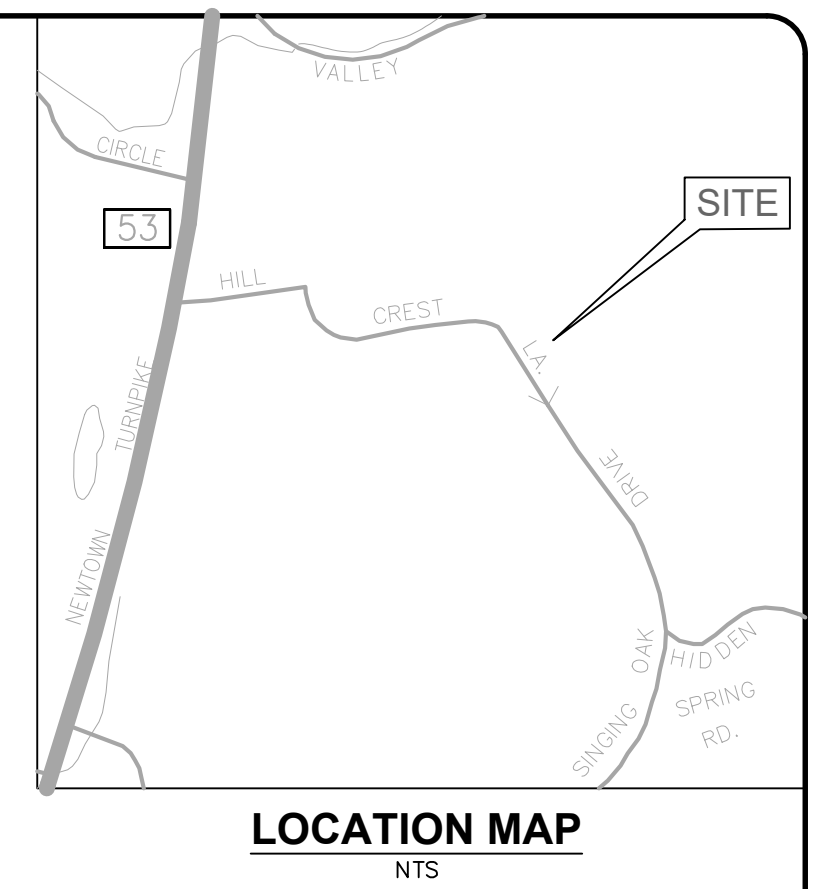


**NOTES:**

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20, AS REVISED.
2. THE TYPE OF SURVEY PERFORMED IS A LIMITED PROPERTY/BOUNDARY ZONING LOCATION SURVEY.
3. THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY.
4. THIS MAP CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
5. THIS MAP CONFORMS TO VERTICAL ACCURACY CLASS V-2.
6. THIS MAP CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-2.
7. BEARINGS ON THIS MAP ARE BASED ON REF. MAP #1 BELOW.
8. ELEVATIONS ON THIS MAP ARE BASED ON NAVD 88 DATUM.
9. THE UNDERGROUND UTILITIES SHOWN ON THIS MAP HAVE BEEN LOCATED BOTH FROM FIELD SURVEY INFORMATION AND FROM EXISTING DRAWINGS NOTED HEREON. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES ON THIS MAP, EITHER CURRENT OR ABANDONED ALTHOUGH EVERY ATTEMPT WAS MADE TO ACCURATELY DEPICT ALL UNDERGROUND UTILITIES. THERE IS NO GUARANTEE TO THE EXACT LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP.
10. OWNER OF RECORD: JOSEPH & IRINA LEONE
11. SUBJECT PARCEL IS IN 2 ACRE ZONE.
12. THIS PARCEL IS KNOWN AS BLOCK 1 LOT 16 ON ASSESSOR'S MAP 8.
13. SEPTIC INFORMATION DEPICTED IS TAKEN FROM INFORMATION PROVIDED BY OTHERS. THE LOCATION SHOULD BE CONSTRUED AS APPROXIMATE AND NOT FROM ACTUAL FIELD LOCATIONS AND DIMENSIONS FROM SEPTIC SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.
14. WETLANDS DEPICTED ON THIS PLAN WERE DELINEATED BY ALEXSANDRA MOCH PROFESSIONAL SOIL SCIENTIST MARCH 2023.

**MAP REFERENCES:**

1. "SUBDIVISION MAP PREPARED FOR HILL CREST SUBDIVISION WESTON, CONNECTICUT" SCALE: 1"=50' NOV. 18, 2002 W.L.R. #36041



WESTON ZONE TABLE (DISTRICT R-2)			
STANDARDS	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	2 AC.	2.03 AC	2.03 AC
MIN. RECTANGLE	170' X 200'	> 170' X 200'	> 170' X 200'
MIN. LOT FRONTAGE	170'	172.90'	172.90'
MAX. BLDG. COVERAGE	15 %	4.9 %	5.8 %
SETBACKS:			
FRONT	50'	146.52'	146.52'
SIDE	30'	62.16'	62.16'
REAR	30'	> 30'	> 30'
WATERCOURSE	50'	-	-
MAX. BLDG. HEIGHT	35'	31' ±	31' ±

**LEGEND**

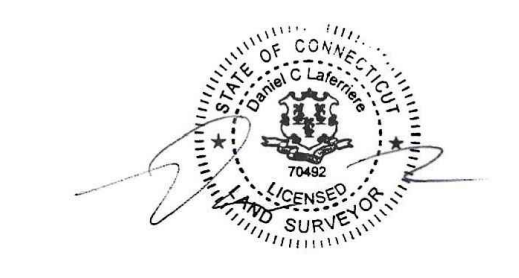
	PROPERTY LINE
	BUILDING SETBACK LINE
	EXISTING CONTOUR
	TREE LINE
	WETLAND LINE
	EXISTING GUIDE RAIL
	EXISTING STONE WALL
	EXISTING SANITARY SEWER MAIN
	EXISTING FENCE
	EXISTING WELL
	TREE SYMBOLS
	MONUMENT

ZONING LOCATION SURVEY  
 PROPOSED POOL  
 PREPARED FOR  
 JOSEPH & IRINA LEONE  
 20 HILL CREST LANE  
 COPYRIGHT © 2023  
 SCALE: 1" = 30' MARCH 22, 2023  
 PROJ. NO.: 0664



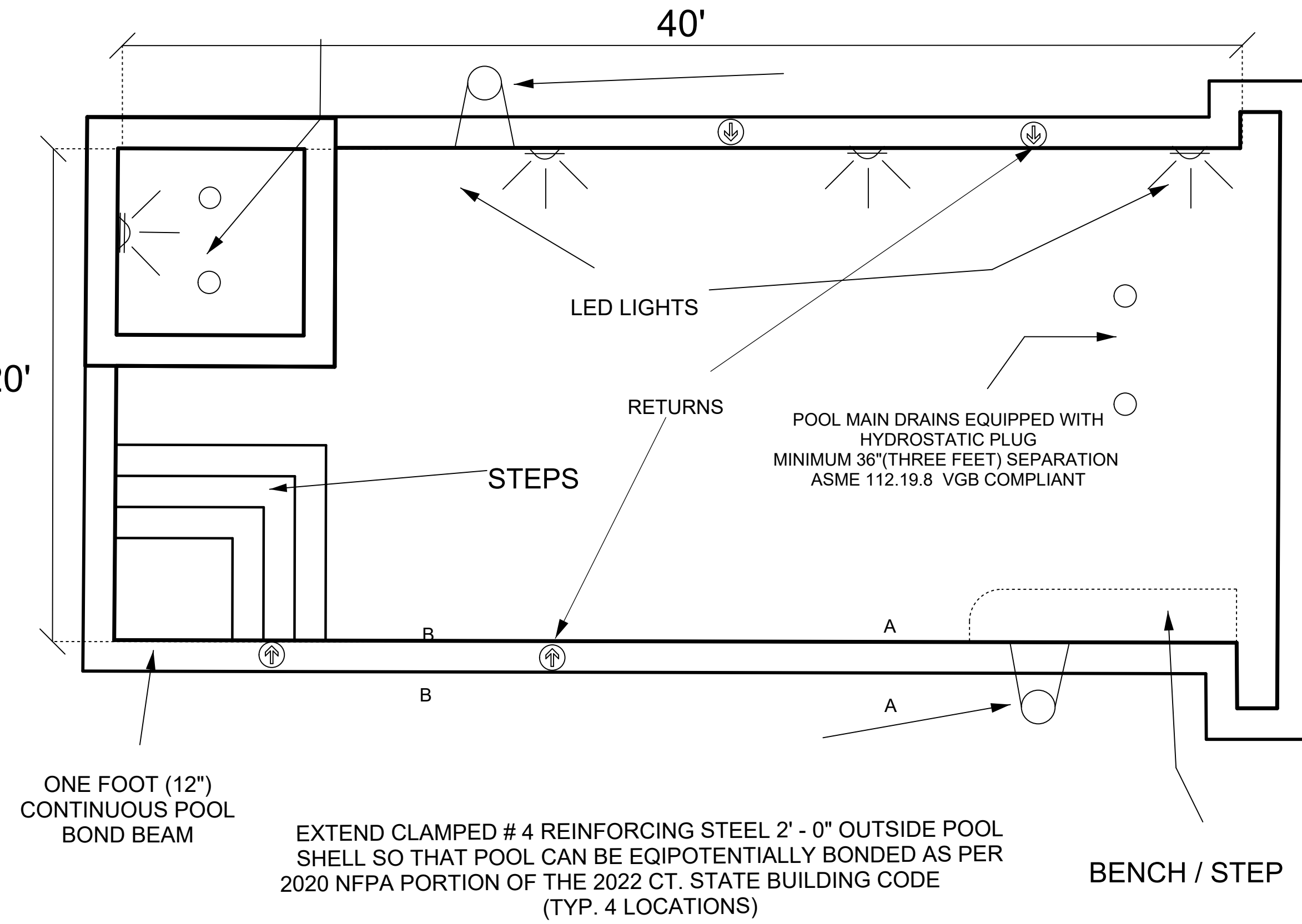
LAND SURVEYING - LAND PLANNING  
 31 West Dayton Hill Road Wallingford, CT 06492  
 1 John Street Millerton, NY 12546  
 Phone: (203) 213-1871  
 dan@allseasonslandsurveying.com  
 allseasonslandsurveying.com

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND SURVEY ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.  
 THIS MAP IS NOT VALID UNLESS IT BEARS THE LIVE SIGNATURE AND SEAL OF THE UNDERSIGNED LAND SURVEYOR.



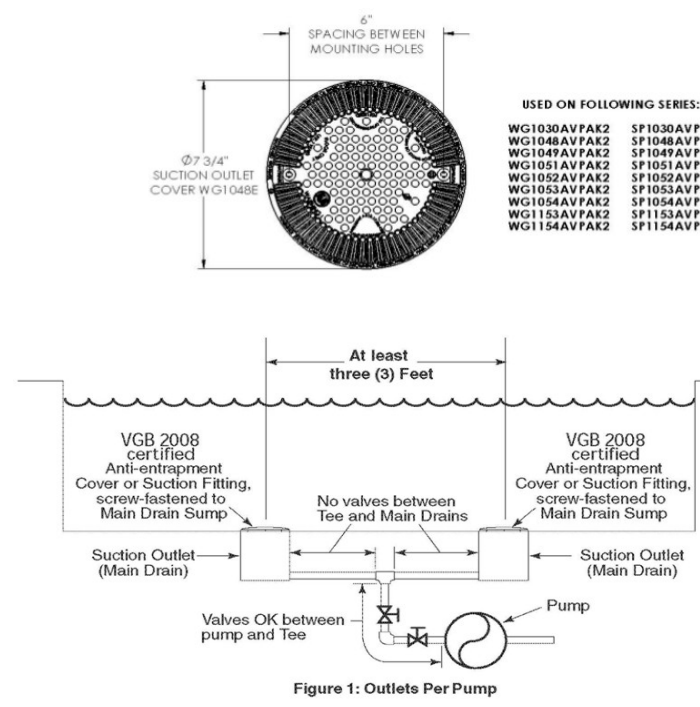
DANIEL C. LAFERRIERE  
 LICENSED LAND SURVEYOR, REG# 70492

SPA MAIN DRAINS EQUIPPED WITH HYDROSTATIC PLUG  
MINIMUM 36"(THREE FEET) SEPARATION  
ASME 112.19.8 VGB COMPLIANT

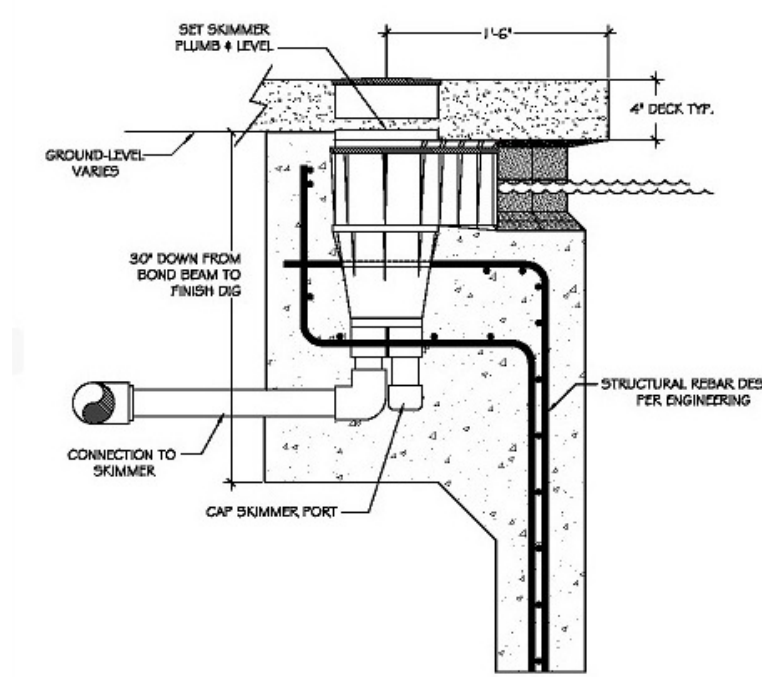


PLAN SCALE 1/4"= 1 ft.  
DEPTH 3'-9" TO 7' 2021 ISPSC -2022 CSBC TYPE - O NON DIVING POOL

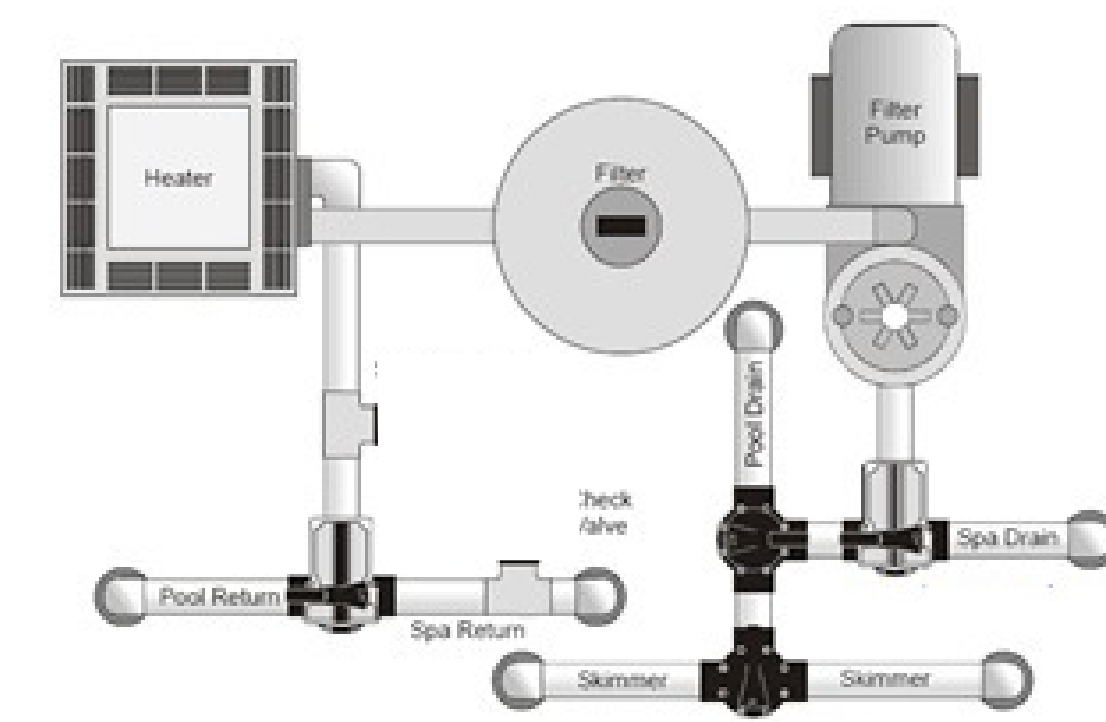
**HAYWARD**  
CERTIFICATION OF COMPLIANCE  
Contains: W604RE, W604REBK, W604REG, or W604REDGR  
Description: 8" Round Section Outlet Cover  
Rating: Ther: 125 GPM, Wall: 72 GPM, Open Area: 6.14 sq ft  
Certified to comply with Section 514 of the Vermont Green Building Act (VGB) Pool & Spa Safety Act codified at 16 C.F.R. part 1450. Initial Certification May 2021.



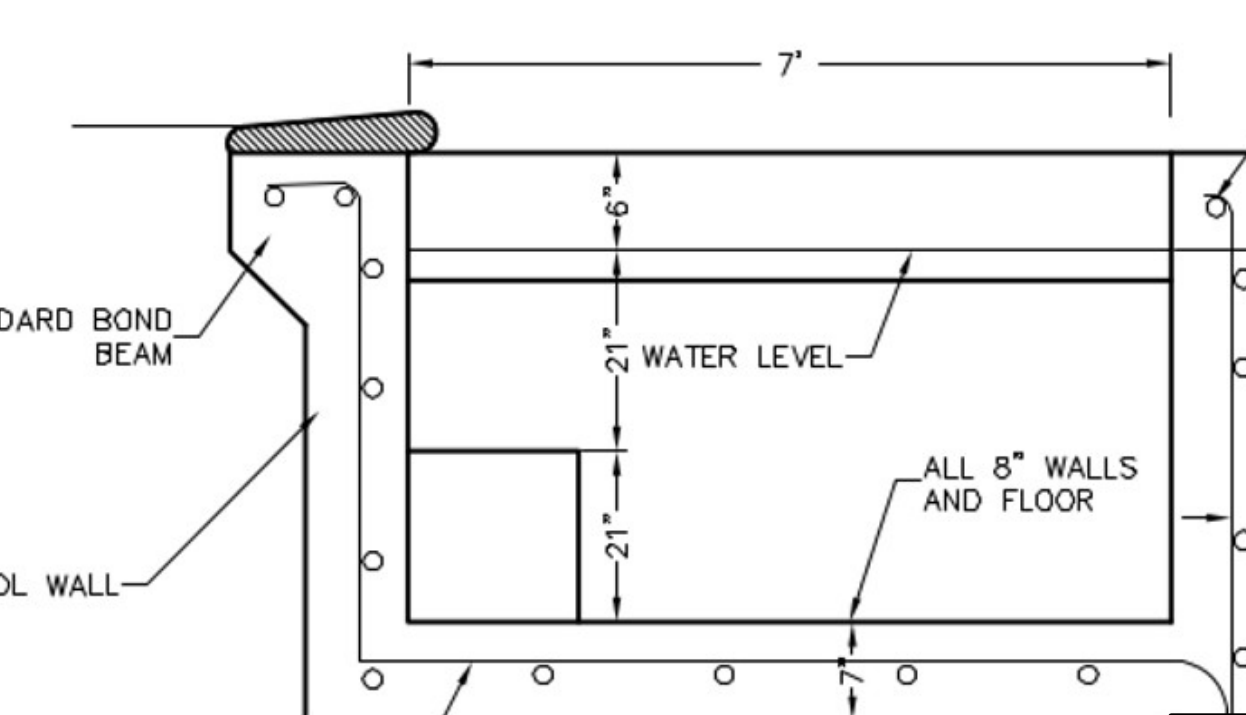
MAIN DRAIN DETAIL



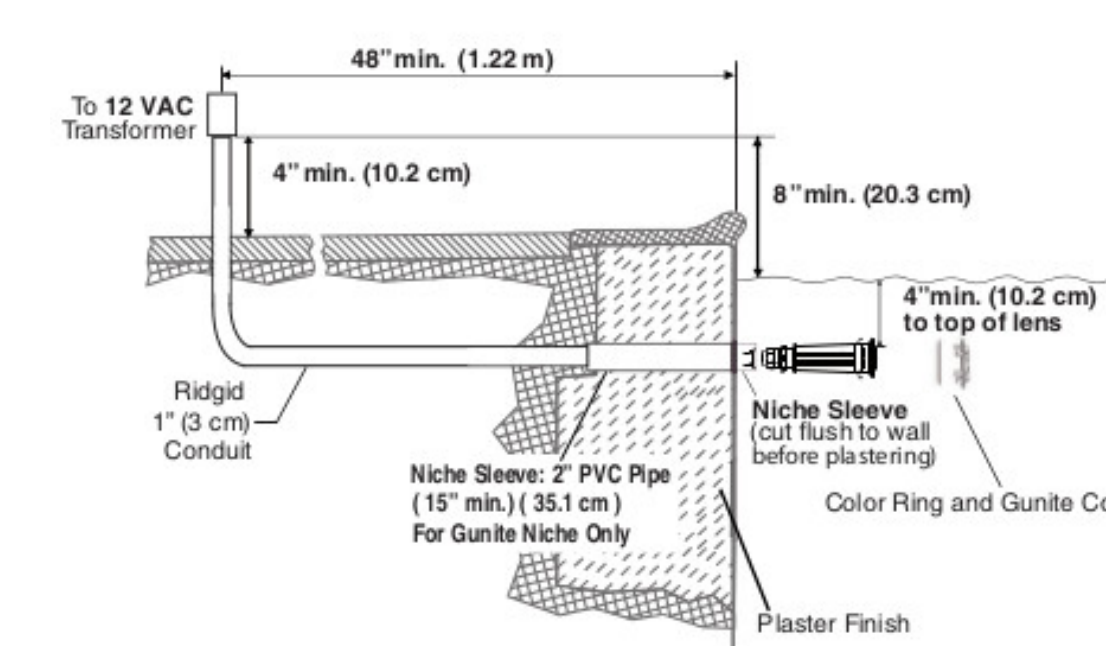
SKIMMER DETAIL



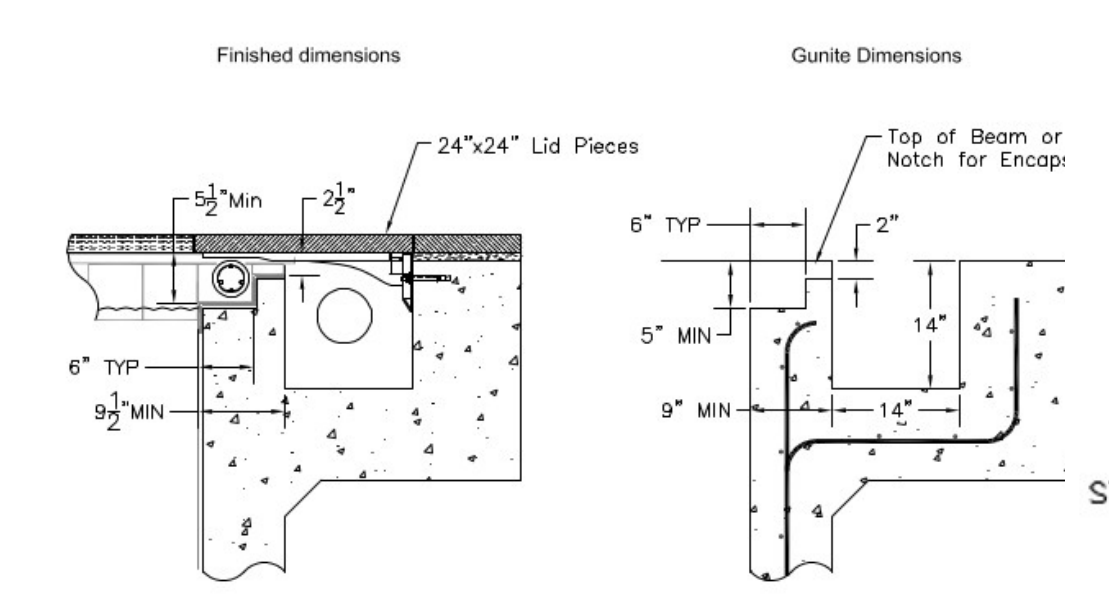
POOL & SPA EQUIPMENT PLUMBING SCHEMATIC



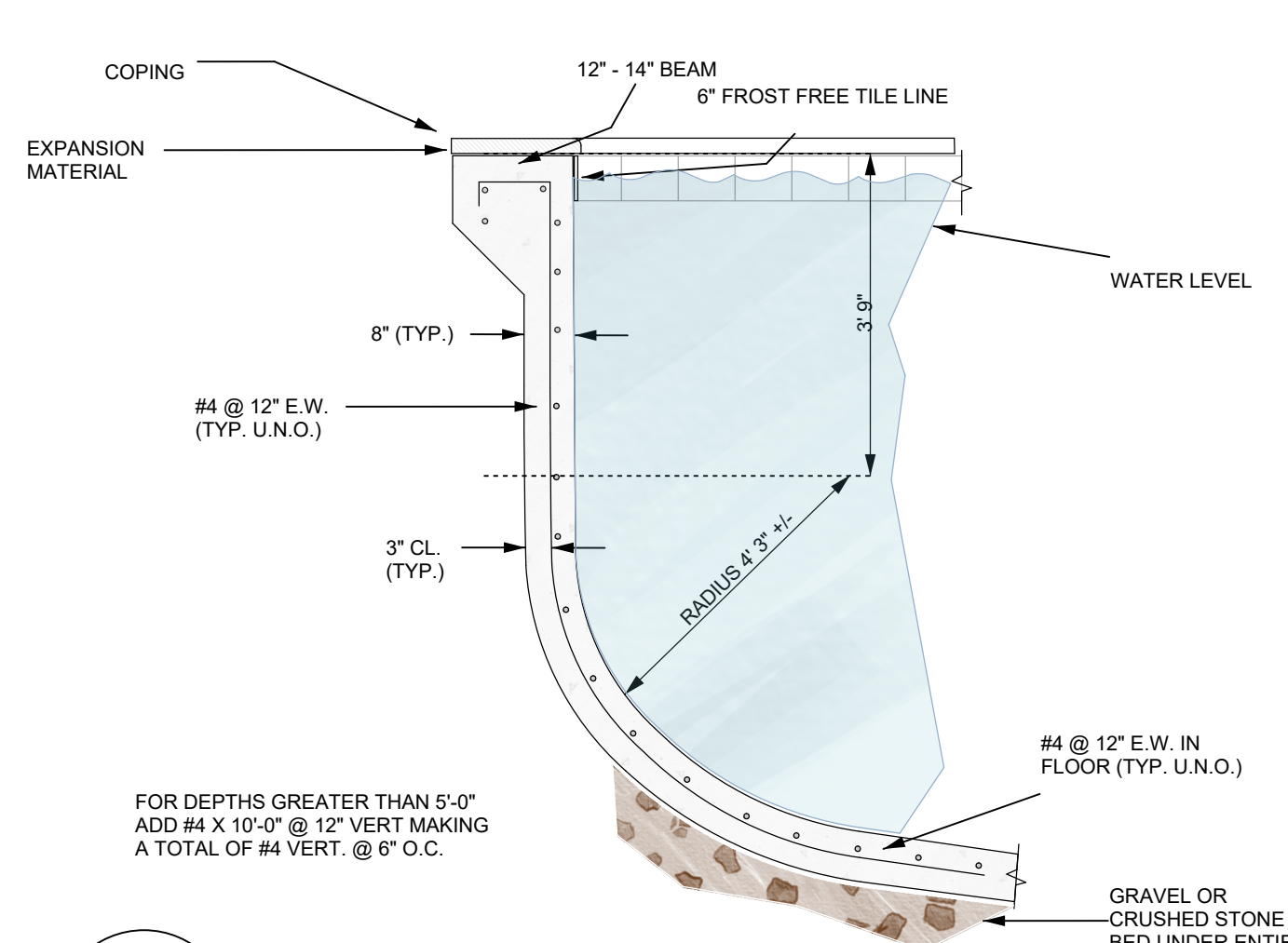
SPA CROSS SECTION



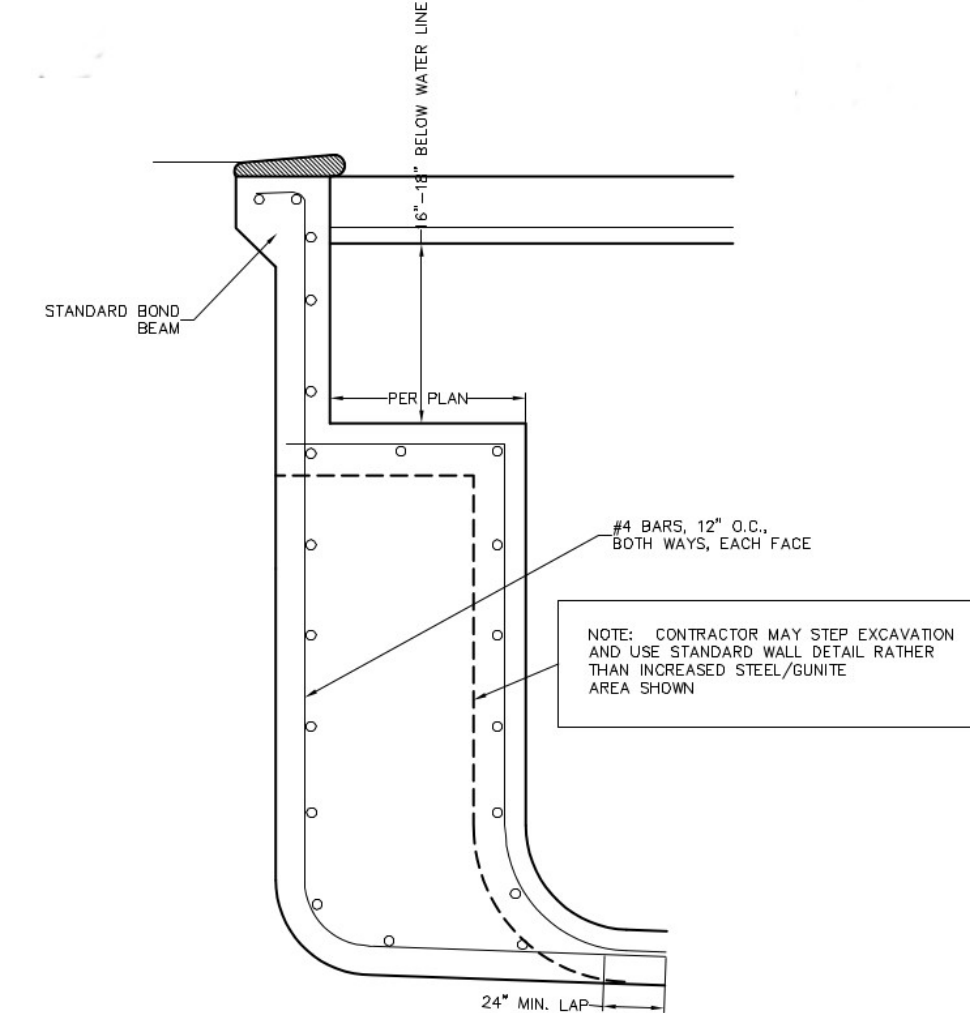
LED LIGHT DETAIL



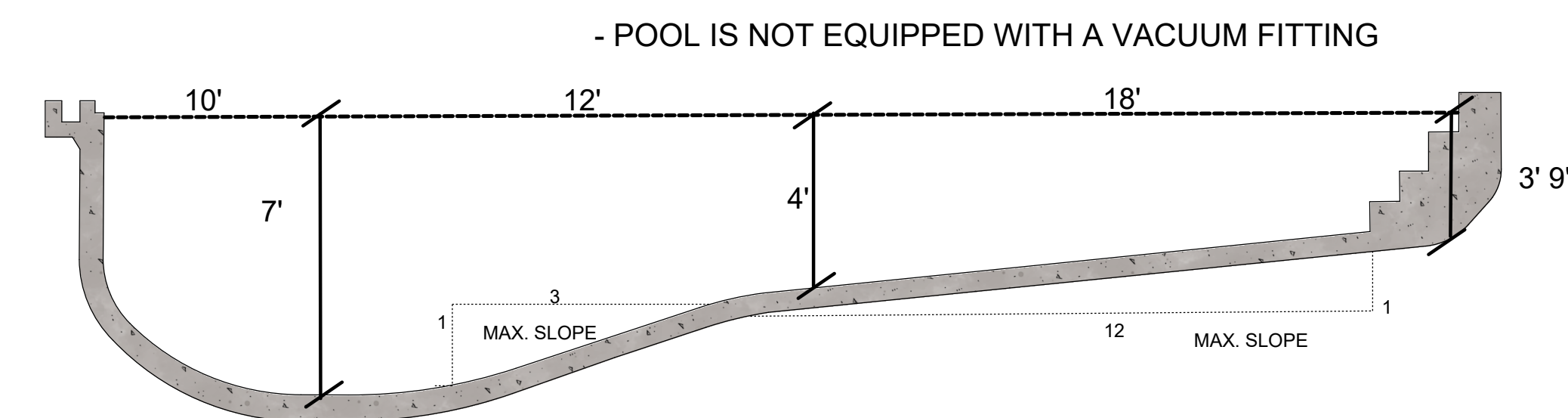
AUTOMATIC POOL COVER DETAIL



SP-1 Section A-A  
A-A DEEP END



SP-1 Section B-B  
B-B SHALLOW END



SP-1 Section C-C  
C-C POOL CROSS SECTION

POOL AND SPA HAVE BEEN DESIGNED AND SHALL BE CONSTRUCTED PER THE 2021 INTERNATIONAL SWIMMING POOL CODE PORTION OF THE 2022 CONNECTICUT STATE BUILDING CODE

- SWIMMING POOL IS ANSI/NSPI - TYPE 0 NON-DIVING POOL
- THE FOLLOWING BUILDING CODE REQUIREMENTS SHALL BE ADHERED TO:
- OUTDOOR SWIMMING POOL BARRIER AS PER SECTION 305.1-305.7
  - TEMPORARY ENCLOSURE PER SECTION 305.1.1
  - POOL ALARMS SHALL COMPLY WITH THE LATEST PUBLISHED EDITION OF ASTM F-2208 STANDARD SAFETY SPECIFICATION FOR RESIDENTIAL POOL ALARMS - SECTION 323.4
  - NATIONAL STANDARD FOR PERMANENTLY INSTALLED RESIDENTIAL SPAS AND SWIM SPAS - ISPSC SECTION 901
  - ANSI/PHTA/ICC 7-2020 AMERICAN NATIONAL STANDARD FOR SUCTION ENTRAPMENT AVOIDANCE IN SWIMMING POOLS, WADING POOLS, SPAS, HOT TUBS AND CATCH BASINS - 310.1
  - STANDARD PERFORMANCE SPECIFICATION FOR SAFETY COVERS AND LABELING REQUIREMENTS FOR ALL COVERS FOR SWIMMING POOLS, SPAS, AND HOT TUBS ASTM F1346-1991 (2018)
  - CONTRACTORS INSTALLATION OF ELECTRICAL WORK INCLUDING BONDING SHALL COMPLY WITH THE 2020 NFPA PORTION OF THE 2022 CONNECTICUT STATE BUILDING CODE - 302.1
  - ALL PLUMBING WORK SHALL COMPLY WITH THE 2022 STATE BUILDING CODE AND THE 2021 (IPC) BY THE ICC
  - POOLS ARE TO BE EQUIPPED WITH AN APPROVED POOL ALARM WHICH IS CAPABLE OF DETECTING A CHILD ENTERING THE WATER AND GIVING AN AUDIBLE ALARM. AS PER SECTION 323.4
  - DOOR AND WINDOW ALARMS WILL MEET UL 2017 - AS PER SECTION 305.4

STRUCTURAL NOTES:

- CONCRETE SHALL BE PLACED ON NATURAL SOIL (1500 PSF) OR WELL DRAINING GRANULAR TYPE COMPACTED FILL.
- POOL STRUCTURAL IS DESIGNED IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI) STANDARD FOR "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE - 318"
- ALL STEEL REINFORCING SHALL BE OF DEFORMED BARS COMPLYING WITH ASTM A615 LAP BARS A MINIMUM OF 15"
- CONCRETE SHALL BE PNEUMATICALLY PLACED GRADE "B" COMPRESSIVE STRENGTH MIN. 3500 PSI AT 28 DAYS CONSISTING OF PORTLAND CEMENT, FINE SAND AGGREGATES, COARSE CRUSHED STONE AGGREGATES & WATER SHALL BE PROPORTIONED BY QUALITY CONTROL IN A CERTIFIED CONCRETE PLANT

GENERAL NOTES:

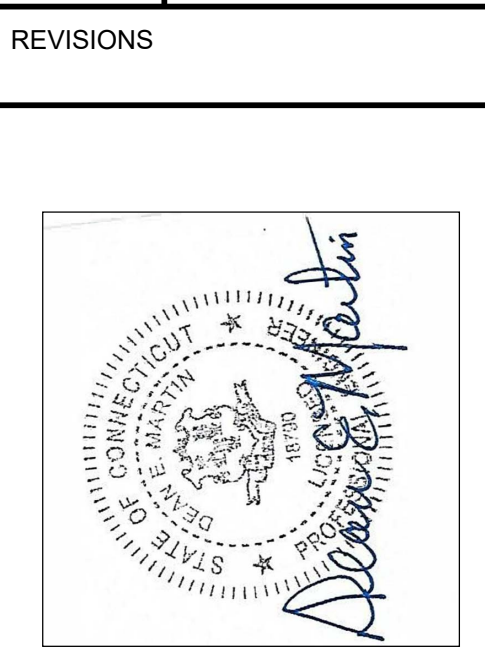
- POOL CLEARANCES TO BUILDINGS AND PROPERTY LINES SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS
- THIS PLAN DOES NOT INCLUDE POOL LOCATION ON PROPERTY, GRADING, FENCING, WALLS OR OTHER SITE INFORMATION.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.
- CONTRACTORS SHALL VERIFY BURIED UTILITIES WITHIN SURROUNDS OF INSTALLATION AREA.

- POOL IS NOT EQUIPPED WITH A VACUUM FITTING

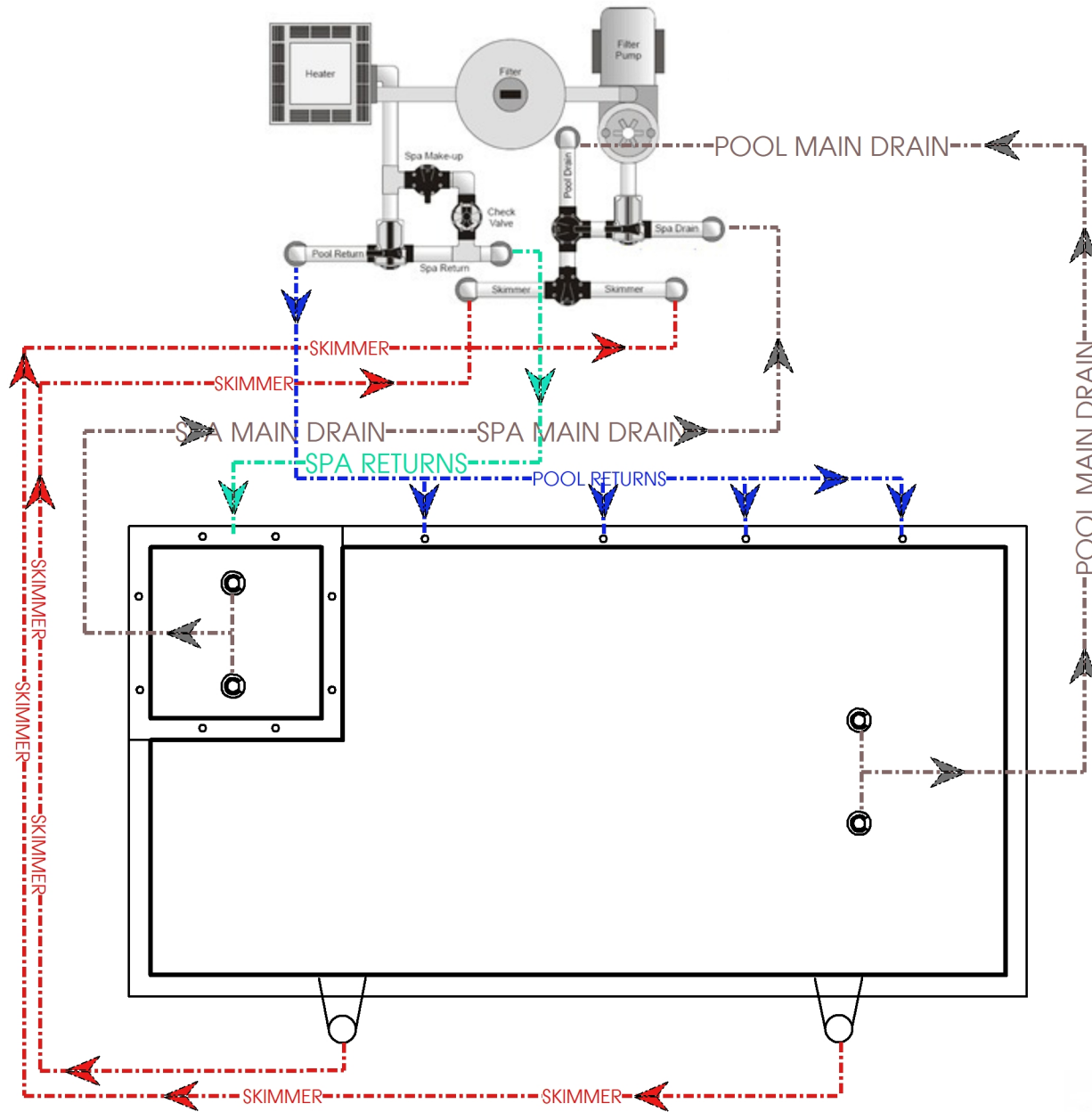
**in2blue design**  
Inspired swimming pools and landscape design  
HIC: 0698318  
SPB: 0001449  
PLM: 0286099-SP1  
nick.villafra@in2bluedesign.com  
203.722.9722  
www.in2bluedesign.com  
nick@in2bluedesign.com

2023-07/10/21	PROJECT	1	2/10/2023
	SHEET		DATE

LEONE RESIDENCE WESTON CT.  
20 HILLCREST LANE  
**GRUMAN ENGINEERING L.L.C.**  
CONSULTING CIVIL ENGINEERS  
22 KNIGHT STREET, NORWALK, CONNECTICUT 06851  
PH: (203) 853-3833 FAX: (203) 866-3757









PAID

OCT 24 2022

# APPLICATION FOR REVIEW OF PLANS FOR PROPOSED SWIMMING POOL/SPA

AS SEEN IN  
HEALTH DISTRICT

Please TYPE or PRINT. Complete all items to bold line. TWO copies of plot plan must be submitted with this application.

Location: 20 Hill Crest Lane  Westport  Weston  Easton  
Street Address Lot Number

Owner: Joseph Leone Address: 20 Hillcrest Lane Weston Tel: (945) 913-8057

Built By: N. Vitiello/inzblue design Address: 144 Water St Norwalk Tel: (203)

Type of Pool: Gunite  
Size of Pool: 40' x 20'  
Distance of Pool From:  
Dwelling: 25+- Water Course/Wetlands N/A  
Septic Tank: 30+- Leaching Area: 160+- in.  
Well: 90+- (in front yard) front  
Drinking Water Supply:  Public  Private

Pool Filter:  
Type: PentAir Size: 420  
Location (Show on plan): Yes  
Source of water: N/A  
Location of draining wastewater discharge, if applicable: N/A

Brief Description of Application: Construct a 40' x 20' gunite in-ground swimming pool with spa inside the ~~house~~ pool with auto cover and mechanicals.

Has any soil testing been performed on the property?  Yes  No

If yes, when and by whom?

Signed: [Signature] 10/19/22  
Owner or Duly Authorized Representative Date

### AHD REMARKS:

- Compliance with 19-13-B100a required .....  Yes  No
- Soils evaluation required .....  Yes  No
- SSDS proposal required .....  Yes  No
- Permit to Construct required (if accessory structures proposed) .....  Yes  No
- Surveyors as-built required .....  Yes  No

Conditions: maintain minimum of 25' to 40 feet of SSDJ

APPROVAL: Approved: [Signature] Date: 2/16/23

FINAL AHD INSPECTION REQUIRED AT COMPLETION OF JOB Yes  No   
It is the responsibility of the contractor or homeowner to arrange for final inspection.

**Final Inspection**

Final Inspection/Final Approval: \_\_\_\_\_  
Sanitarian Date

Remarks: \_\_\_\_\_

# **WETLAND DELINEATION**

FOR THE PROPERTY LOCATED AT:  
**20 HILLCREST LANE**  
WESTON, CONNECTICUT



REPORT PREPARED BY:  
**ALEKSANDRA MOCH**  
**SOIL & WETLAND SCIENTIST**  
CERTIFIED PROFESSIONAL IN EROSION  
AND SEDIMENT CONTROL  
GEOLOGIST/HYDROGEOLOGIST

**March 4, 2023**

## **SITE DESCRIPTION**

The property is located on the northeastern side of Hillcrest Lane in Weston, CT. This two acres site supports a single-family residence with a driveway and a septic system. The center portion of the site is maintained as a lawn surrounded by a woodland stretching along the edges. The area drains towards the northeast.

## **METHODS**

Wetland identification was performed on March 4, 2023. This site was evaluated in terms of the presence of poorly drained, very poorly drained, alluvial, and/or floodplain soils and submerged land. The soil types were identified by observation of soil morphology including soil texture, structure, color, etc. Numerous soil samples were taken using an auger. Sampling began within the typical wetland area and continued toward the upland. Soil morphology was observed at soil sampling points along the transect lines perpendicular to the wetland boundary. At each transect, the boundary between the upland and wetland was marked with orange surveyor's tape labeled "WET". Each flag was numbered sequentially 1-11 along the western and 12-20 along the eastern edge of the wetland/watercourse area.

## **WETLANDS/WATERCOURSES REGULATORY DEFINITION**

The Inland Wetlands and Watercourses Act (Connecticut General Statutes section 22a-38) defines inland wetlands as *land, including submerged land...which consists of any soil types designated as poorly drained, very poorly drained, alluvial, and floodplain.*

The terms poorly drained and very poorly drained describes the drainage classes of the soil, which are based on frequency and duration of periods of soil saturation due to the fluctuations of ground water table. The terms alluvial and floodplain describe the processes in which the soils were formed.

Watercourses are defined in the statutes as *rivers, streams, brooks, waterways, lakes, ponds, marshes, swamps, bogs and all other bodies of water, natural or artificial, vernal or intermittent, public or private, which are contained within, flow through or border upon the state or any portion thereof.*

Intermittent watercourse: is determined by a defined permanent channel and bank and the occurrence of two or more of the following characteristics:

- Evidence of scour or deposits of recent alluvium or detritus,
- Presence of standing or flowing water for a duration longer than a particular storm incident, and
- Presence of hydrophytic vegetation.

## **WETLAND/WATERCOURSE DESCRIPTION**

The area flagged in the field consists of a slope wetland bisected by an intermittent flow. The flow enters the area from the south. Several springs emerging long the slope contribute to the flow heading towards a culvert located within the northeastern property corner. The wetland area is maintained as a meadow with wooded edges.

## **WETLAND SOILS**

The soils were classified using soil criteria and maps developed by United States Department of Agriculture, Natural Resources Conservation Service.

### **2- Ridgebury fine sandy loam**

The *Ridgebury* series occur in depressions and/or drainageways. This poorly drained soil is underlined by restrictive layer at the depth 20 to 30 inches. 9% of the surface area is covered with cobbles, stones or boulders. The parent material is a coarse-loamy lodgment till derived from granite and/or schist and/or gneiss. The slope is 0 to 5%.

#### Typical profile

- 0 to 5 inches: Fine sandy loam
- 5 to 14 inches: Fine sandy loam
- 14 to 21 inches: Fine sandy loam
- 21 to 60 inches: Sandy loam

## **UPLAND SOILS**

### **85C—Paxton and Montauk fine sandy loams, 8 to 15 percent slopes, very stony**

The *Paxton* series consists of well drained soils formed in coarse-loamy lodgment till deriving from granite and/or schist and/or gneiss. They are occurring on drumlins, hills and till plains. The slope ranges from 3 to 8 percent.

#### Typical profile

- 0 to 8 inches: Fine sandy loam
- 8 to 15 inches: Fine sandy loam
- 15 to 26 inches: Fine sandy loam
- 26 to 65 inches: Gravelly fine sandy loam

The *Montauk* series consists of well drained soils formed in coarse-loamy lodgment till derived from granite and/or coarse-loamy lodgment till derived from gneiss and/or coarse-loamy lodgment till derived from granite. They are occurring on hills and drumlins. The slope ranges from 3 to 8 percent.

Typical profile

- *0 to 4 inches*: Fine sandy loam
- *4 to 14 inches*: Fine sandy loam
- *14 to 25 inches*: Sandy loam
- *25 to 39 inches*: Gravelly loamy coarse sand
- *39 to 60 inches*: Gravelly sandy loam

**308—Udorthents, smoothed**

These soils are man-made and moderately well drained. An average depth to the water table fluctuated between 24 to 54 inches. The depth to the restricted features is greater than 80 inches. The slope varies from 0 to 35%.

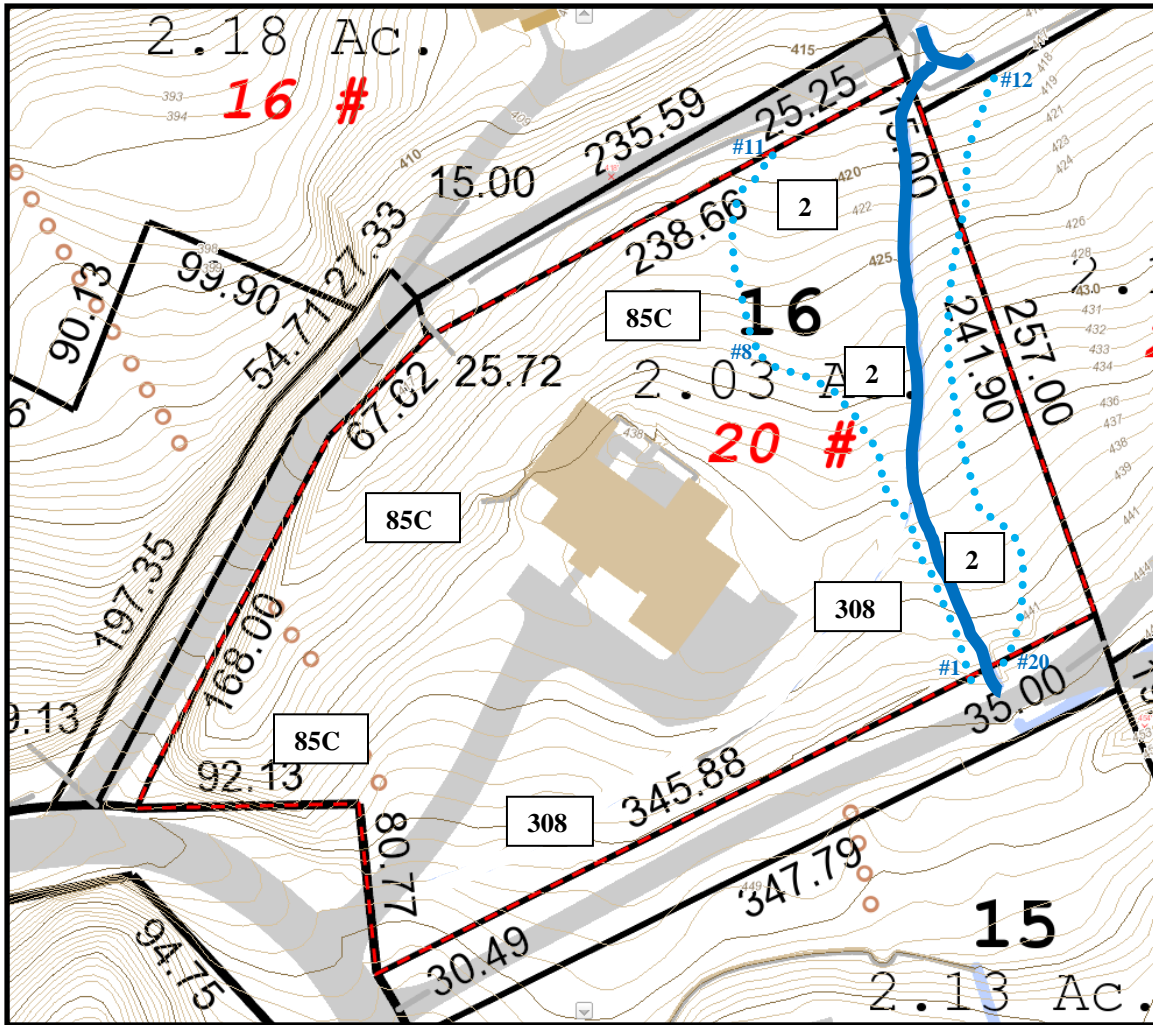
Typical profile

- *0 to 5 inches*: Loam
- *5 to 21 inches*: Gravelly loam
- *21 to 80 inches*: Very gravelly sandy loam

Certified by:



Aleksandra Moch  
Soil and Wetland Scientist



8 1 15  
26 HILL CREST LLC  
159 STEEPHILL ROAD  
WESTON CT 06883

8 1 18  
REDLITZ-PARENTI FAMILY LIVING TRUST  
24 HILL CREST LANE  
WESTON CT 06883

8 1 21  
SINGING OAKS DEVELOPMENT  
24 HILL CREST LANE  
WESTON CT 06883

~~8 1 16  
LEONE JOSEPH & IRINA  
20 HILL CREST LANE  
WESTON CT 06883~~

8 1 19  
PELLEGRINI JEFFREY C & NANCY J  
22 HILL CREST LANE  
WESTYON CT 06883

8 1 24  
LIN YUAN & LIU KUEI TING  
9 HILL CREST LANE  
WESTON CT 06883

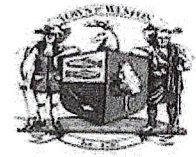
8 1 17  
NILES SCOTT ROBERT & ERIN MICHELLE  
16 HILL CREST LANE  
WESTON CT 06883

8 1 20  
LOVE STEPHEN & JULIE  
18 HILL CREST LANE  
WESTON CT 06883

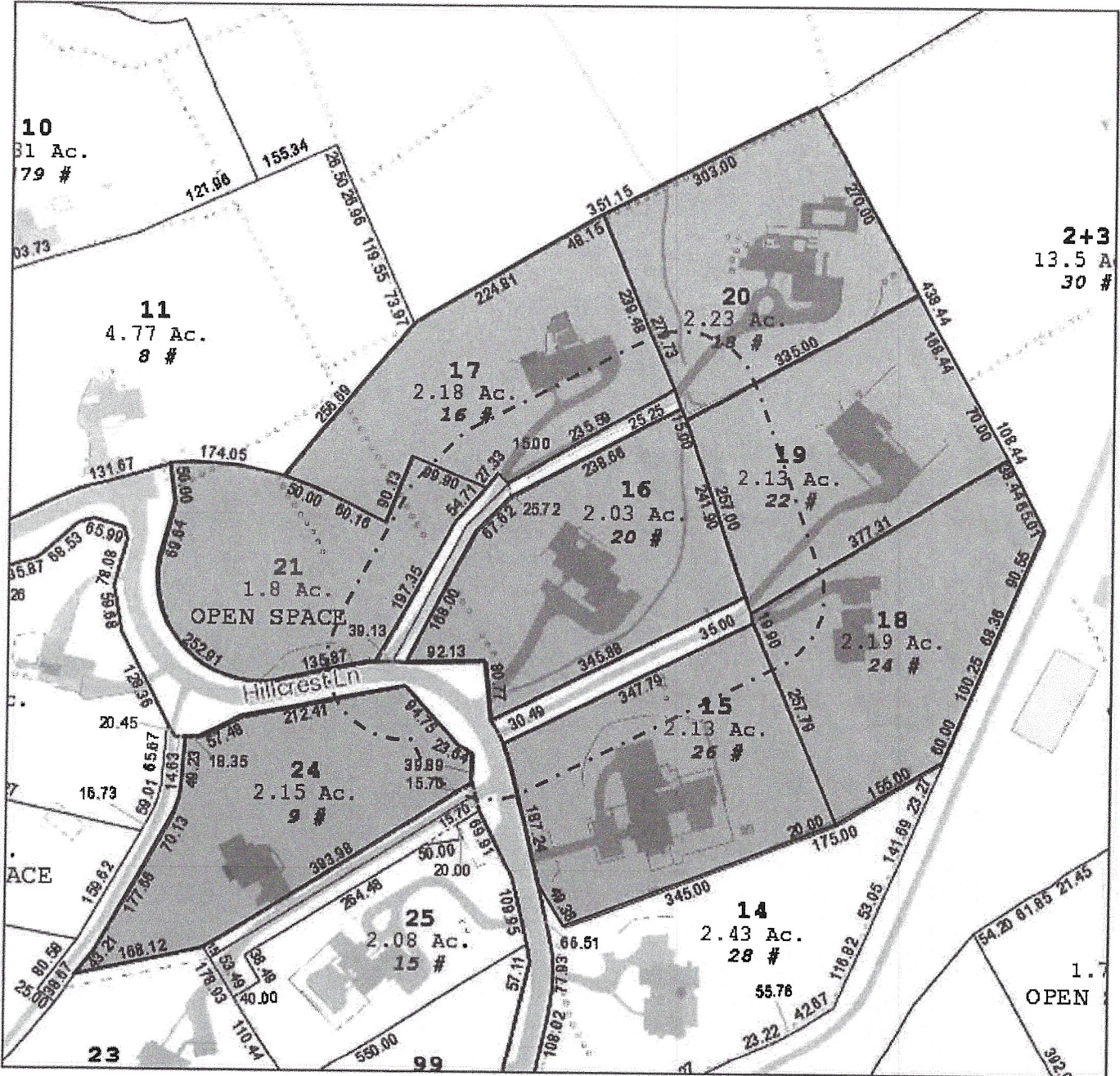
*Martin Slawek & Maria Cardoso  
15 Hill Crest Lane*



# Town of Weston Geographic Information System (GIS)



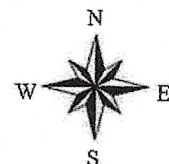
Date Printed: 2/23/2023



### MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Weston and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 50 ft





# Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete this form in accordance with the instructions on pages 2 and 3 and mail to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

## PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: \_\_\_\_\_ month: \_\_\_\_\_
- ACTION TAKEN (see instructions - one code only): \_\_\_\_\_
- WAS A PUBLIC HEARING HELD (check one)? yes  no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:  
(print name) \_\_\_\_\_ (signature) \_\_\_\_\_

## PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (print name): \_\_\_\_\_  
does this project cross municipal boundaries (check one)? yes  no   
if yes, list the other town(s) in which the activity is occurring (print name(s)): \_\_\_\_\_
- LOCATION (see instructions for information): USGS quad name: - 1#i? :- or number: / 08  
subregional drainage basin number: 72cP DoC?
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): N, cK Yi: he lo
- NAME & ADDRESS OF ACTIVITY/ PROJECT SITE (print information): 20 toll Cgs+: Lane) Wt'irfv.n c.-r  
briefly describe the action/project/activity (check and print information): temporary  permanent  description: lo:0)::h::Ucl"o  
Yo'x2 'juoik in-jrot n; J F J Mf? AU O si J f. wr) q l t e c v e r 1 f Y J f i c a, l r.
- ACTIVITY PURPOSE CODE (see instructions - one code only): A- -
- ACTIVITY TYPE CODE(S) (see instructions for codes): 1.
- WETLAND/ WATERCOURSE AREA ALTERED (see instructions for explanation, must provide acres or linear feet):  
wetlands: 880 L, t...  open water body: \_\_\_\_\_ acres stream: .f/ -  00 linear feet
- UPLAND AREA ALTERED (must provide acres): ee > 01 f. acres
- AREA OF WETLANDS/ WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): \_\_\_\_\_ acres

DATE RECEIVED:

## PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED/ COMPLETED: YES NO

To Whom it May Concern,

Construction sequence for 20 Hill Crest Lane, Weston  
Joseph Leone - Gunite Pool

1. Install anti tracking pad
2. Install silt fence around construction/excavation site
3. Stake pool location
4. Excavate swimming pool
5. Haul off any unused spoils
6. Create stockpile of material used for backfill within silt fence area plotted on plan as "stockpile" with silt fence area (not near wetlands)
7. Frame and rebar pool
8. Plumb swimming pool
9. Shoot gunite
10. Electrical and gas lines installed and inspected
11. Backfill swimming pool
12. Install coping
13. Install pool liner
14. Prep for masonry
15. Install Masonry
16. Clean up site
17. Reseed topsoil to bring area back to original form

*Nick Vitiello*

Nick Vitiello  
Owner



Certificate  
Mail

This Certificate of Mailing provides evidence that mail has been presented to USPS® for ma  
This form may be used for domestic and international mail.

From: N. Vitiello  
in 2blue design LLC  
144 Water st Ste 5  
Norwalk CT 06854

To: George Logan, Environmental M  
Aquarian Water Co.  
714 Black Rock Turnpike  
Easton CT 06612

PS Form 3817, April 2007 PSN 7530-02-000-9065



U.S. POSTAGE PAID  
WESTON, CT  
06993-23  
MAY 11  
AMOUNT  
**\$1.85**  
R2304M113324-8

20 Hillcrest Pool Application CC 23-09 Request for Extension to Aug. 24

**Dr. Tom Failla** <[conservationplanner@westonct.gov](mailto:conservationplanner@westonct.gov)>

5:10 AM  
(7 hours ago)

to Marina, Sarah, Richelle, Nick

Nick - Thank you for your question. If the project drainage plan with the owner's recent addition of a proposed patio will not be ready for commission review at the July 20 regular monthly meeting, the owner, or you as agent for the owner, may request in writing (email would be sufficient) an extension of up to 65 days from July 22, which ends the first 65-day period from the May 18 receipt that the commission has to review the application and make a decision. The next regular monthly meeting of the commission is Aug. 17, which is 26 days after July 22. Unfortunately, the regular meeting in September is Sept. 28, which, at day 68 from Jul 22, is beyond the second 65 days. Cheers Tom

**Dr. Tom Failla**

Conservation Planner

Town of Weston

203.222.2681

203.331.6035

203.222.2537 (fax)

[ConservationPlanner@westonct.gov](mailto:ConservationPlanner@westonct.gov)

*This message may contain PRIVILEGED AND CONFIDENTIAL INFORMATION. If you are not the intended recipient, do not read, copy or distribute the email or any attachment. Instead, please notify the sender and delete the email and any attachments. Thank you.*

N

**Nick Vitiello**

5:49 AM  
(6 hours ago)

to Marina, Sarah, Richelle, me

Understood, I was under the impression that there wasn't a meeting in August. So, we're asking for an extension to make next month's meeting.

Nick Vitiello

in2blue design

C.203.722.9722

O.203.939.9777

[www.in2bluedesign.com](http://www.in2bluedesign.com)

---

**From:** Dr. Tom Failla <[conservationplanner@westonct.gov](mailto:conservationplanner@westonct.gov)>

**Sent:** Monday, July 17, 2023 5:10:04 AM

**To:** Nick Vitiello <[in2bluedesign@hotmail.com](mailto:in2bluedesign@hotmail.com)>

**Cc:** Marina Zegarelli <[landuseadmin@westonct.gov](mailto:landuseadmin@westonct.gov)>; Sarah Schlechter <[sschlechter@westonct.gov](mailto:sschlechter@westonct.gov)>;

Richelle Hodza <[landusedirector@westonct.gov](mailto:landusedirector@westonct.gov)>

**Subject:** Re: [EXTERNAL] Re: [EXTERNAL] 20 Hillcrest/Leone

**D**

**Dr. Tom Failla** <[conservationplanner@westonct.gov](mailto:conservationplanner@westonct.gov)>

8:33 AM  
(3 hours  
ago)

to Nick, Marina, Sarah, Richelle

Nick - I will inform the Commission about the applicant's request to extend the time for review until the meeting August 24. Note, in my previous email, I mistakenly said the next meeting was August 17. That is the due date for new applications and plan revisions for applications already under consideration, such as yours. Cheers Tom

**Dr. Tom Failla**

Conservation Planner

Town of Weston

203.222.2681

203.331.6035

203.222.2537 (fax)

[ConservationPlanner@westonct.gov](mailto:ConservationPlanner@westonct.gov)

**DRAINAGE REPORT**  
**PREPARED FOR**  
**EXISTING AND PROPOSED SITE CONDITIONS**

LOCATED AT:

20 HILLCREST LANE

WESTON, CONNECTICUT

FCE #2224



July 24, 2023

**FAIRFIELD COUNTY ENGINEERING, LLC**  
**CIVIL ENGINEERS**

**60 WINFIELD ST.**  
**NORWALK, CONNECTICUT 06855**  
**(203) 831-8005**  
**FAX: (203) 831-8006**  
**E-mail to: [wayne@fairfieldce.com](mailto:wayne@fairfieldce.com)**



## NARRATIVE:

The subject of this report is a 2.03 acre parcel located at 20 Hillcrest Lane in Weston. The purpose of this report is to determine the existing and proposed runoffs resulting from the proposed site improvements in order to design a stormwater management system.

## EXISTING CONDITIONS:

The subject parcel is located at the east side of Hillcrest Lane, approximately 700 feet from its intersection with Newtown Turnpike. The lot currently contains a single family residence, driveway, patios and walks. The lot slopes moderately to steeply across its width, from the southeast down to the northwest.

Existing soils at this location, as identified in the NRCS Soil Survey of Fairfield County, Connecticut, consist of a combination of Paxton and Montauk fine sandy loams, 8 to 15 percent slopes, very stony, which has a Hydrologic classification of 'C', Hollis-Chatfield-Rock outcrop complex, 15 to 45 percent slopes, which has a Hydrologic classification of "D", and Canton and Charlton soils, 15 to 25 percent slopes and Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky, both of which have a Hydrologic classification of "B".

For the purposes of this analysis a Hydrologic classification of "C" was used, as it represents a majority of the lot area, and is the soil type in the area of proposed activity.

The existing runoff as developed from a 50-Year rainfall event is 12.87 c.f.s.

## PROPOSED CONDITIONS:

The proposal for this site is to construct a rear pool.

The proposed runoff (unmitigated) from a 50-Year rainfall event is 12.87 c.f.s.



## COMPUTATIONS:

The following computations of the existing and proposed conditions runoff flows were derived from the HydroCAD computer software. HydroCAD follows the NRCS TR-20 procedure for computing stormwater runoff. Computations were performed for a 50-year storm event, which has a 2% chance of occurring in any given 12 month period.

### Existing Conditions:

House	4,488 s.f.	CN 98
Driveway	6,183 s.f.	CN 98
Patios	874 s.f.	CN 98
Gravel area	325 s.f.	CN 85
Walks	441 s.f.	CN 98
Lawn	76,265 s.f.	CN 79
Total -	88,576 s.f.	

Weighted CN - 82

### Proposed Conditions:

House	4,488 s.f.	CN 98
Driveway	6,183 s.f.	CN 98
Patios	874 s.f.	CN 98
Gravel area	325 s.f.	CN 85
Walks	441 s.f.	CN 98
Pool	880 s.f.	CN 98
Patio	440 s.f.	CN 98
Lawn	74,945 s.f.	CN 79
Total -	88,576 s.f.	

Weighted CN - 82

### Water Quality Volume

$$I = (15.4 \times 0.009) + 0.05 = 0.1886$$

$$WQV = (0.1886 (2.03 \text{ acres})/12) = 0.0319048 \text{ ac-ft} = 1,389.8 \text{ ft}^3.$$

### Groundwater Recharge Volume

$$GWV = 1,389.8 \times 0.1 = 139.0 \text{ ft}^3.$$

## SUMMARY

Existing Runoff (50 Year):	12.87 c.f.s.
Proposed Runoff (50 Year):	12.87 c.f.s.
Proposed Impervious Run-off Retained (50 Year):	0.09 c.f.s
Proposed Run-off from Areas Bypassing Retention plus overflow (50 Year):	12.80 c.f.s.

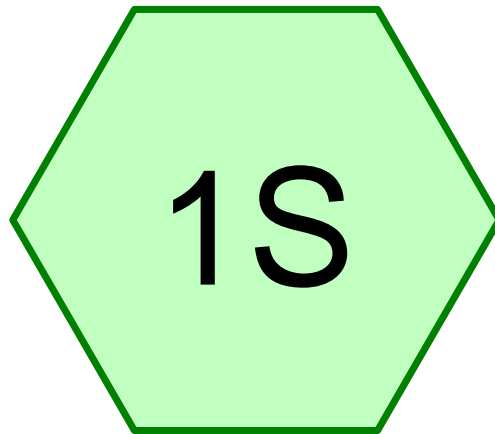
## CONCLUSIONS:

The increased runoff resulting from the proposed site improvements will be retained in an on-site retention system. The runoff from a portion of the house roof will be routed to 2 units of Cultec R-280 retention chambers.

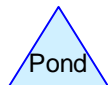
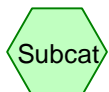
This system will decrease the net peak runoff during a 50 Year storm to 12.80 c.f.s. from its current peak of 12.87 c.f.s.

The proposed retention system provides 145 ft<sup>3</sup> of storage, which will accommodate the runoff from a 50 Year rainfall event routed to the system, and provides groundwater recharge.

The proposed improvements will have no adverse impact on surrounding properties.



# Existing Conditions



**Routing Diagram for 2224Existing**

Prepared by Fairfield County Engineering LLC, Printed 7/27/2023  
HydroCAD® 10.00-26 s/n 06020 © 2020 HydroCAD Software Solutions LLC

### Summary for Subcatchment 1S: Existing Conditions

Runoff = 12.87 cfs @ 12.07 hrs, Volume= 0.912 af, Depth> 5.38"

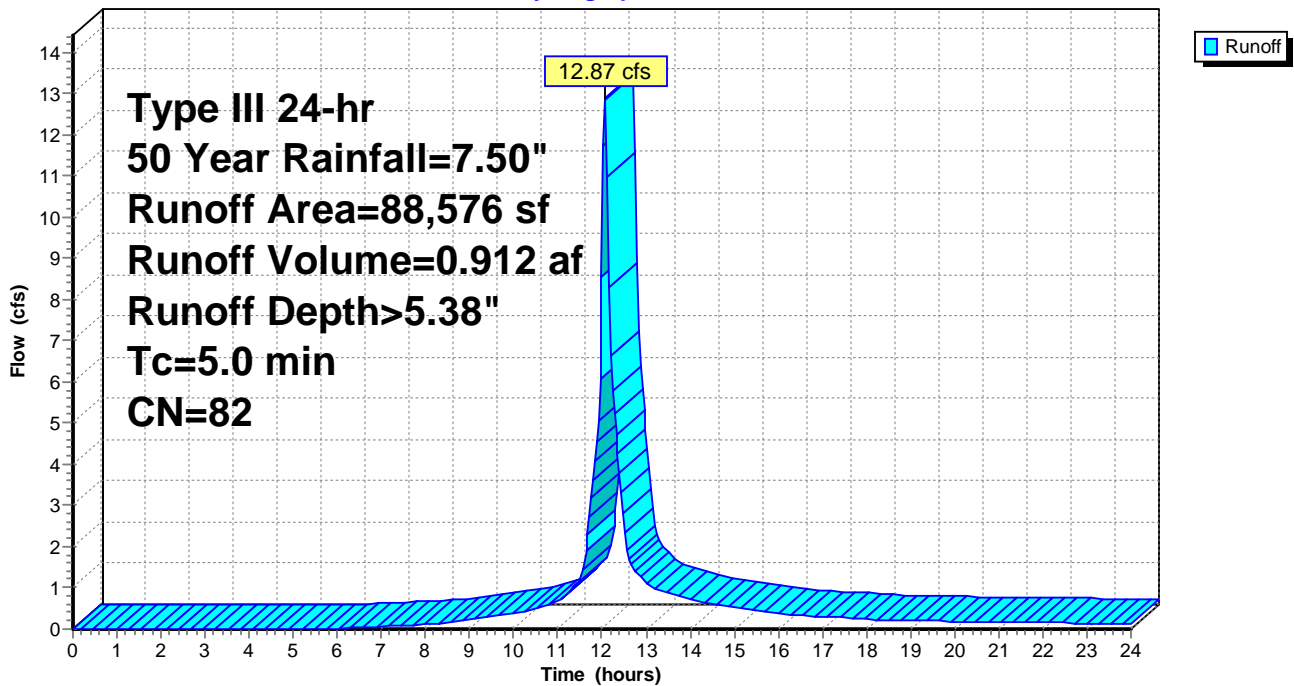
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.04 hrs  
 Type III 24-hr 50 Year Rainfall=7.50"

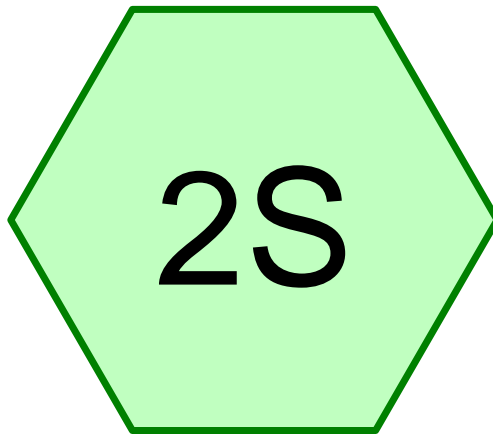
	Area (sf)	CN	Description
*	4,488	98	House
*	6,183	98	Driveway
*	874	98	Patios
*	325	85	Gravel area
*	441	98	Walks
	76,265	79	50-75% Grass cover, Fair, HSG C
	88,576	82	Weighted Average
	76,590		86.47% Pervious Area
	11,986		13.53% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Direct

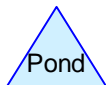
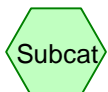
### Subcatchment 1S: Existing Conditions

Hydrograph





# Proposed Conditions



**Routing Diagram for 2224Proposed**  
Prepared by Fairfield County Engineering LLC, Printed 7/27/2023  
HydroCAD® 10.00-26 s/n 06020 © 2020 HydroCAD Software Solutions LLC

**Summary for Subcatchment 2S: Proposed Conditions**

Runoff = 12.87 cfs @ 12.07 hrs, Volume= 0.912 af, Depth> 5.38"

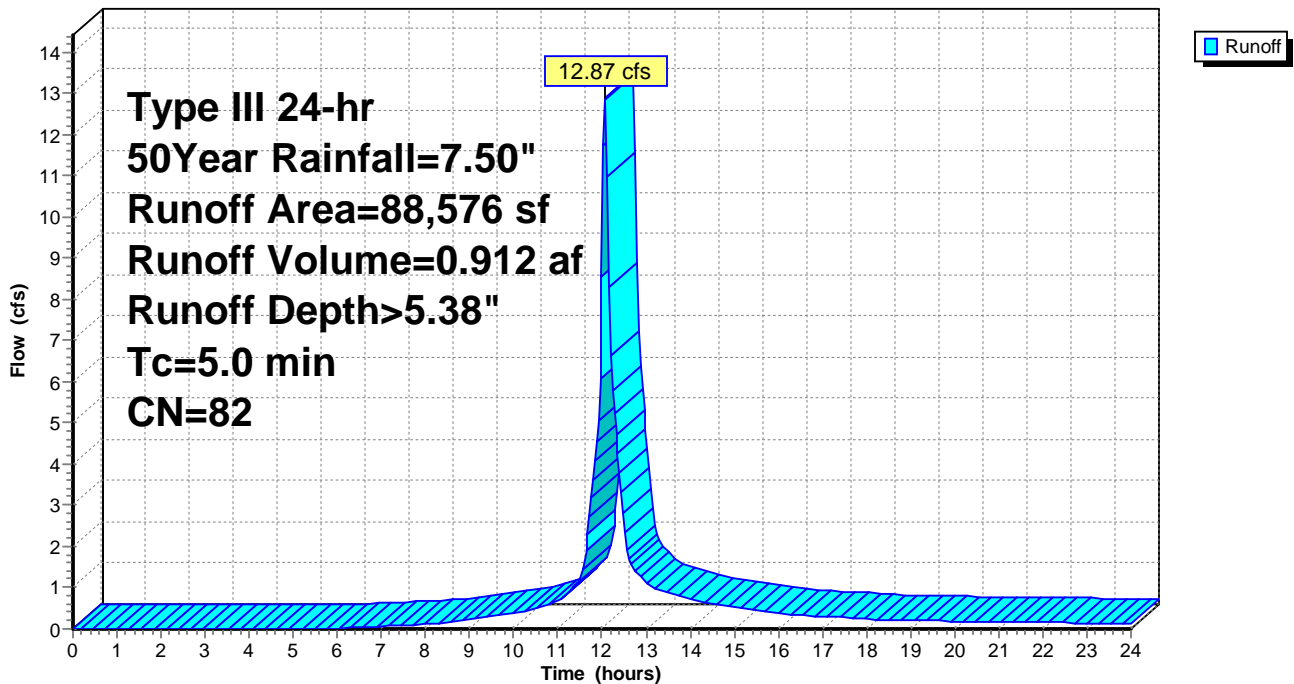
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.04 hrs  
 Type III 24-hr 50Year Rainfall=7.50"

	Area (sf)	CN	Description
*	4,488	98	House
*	6,183	98	Driveway
*	874	98	Patios
*	325	85	Gravel area
*	441	98	Walks
*	880	98	Pool
*	440	98	Patio
	74,945	79	50-75% Grass cover, Fair, HSG C
	88,576	82	Weighted Average
	75,270		84.98% Pervious Area
	13,306		15.02% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Direct

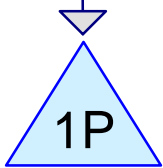
**Subcatchment 2S: Proposed Conditions**

Hydrograph

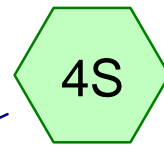




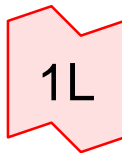
Areas Routed to Retention



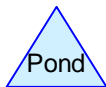
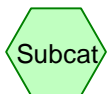
Cultec R-280



Areas not Routed to Retention



Combined Hydrograph



**Routing Diagram for 2224Combined**

Prepared by Fairfield County Engineering LLC, Printed 7/27/2023  
HydroCAD® 10.00-26 s/n 06020 © 2020 HydroCAD Software Solutions LLC

**Summary for Subcatchment 3S: Areas Routed to Retention**

Runoff = 0.09 cfs @ 12.07 hrs, Volume= 0.008 af, Depth> 7.26"

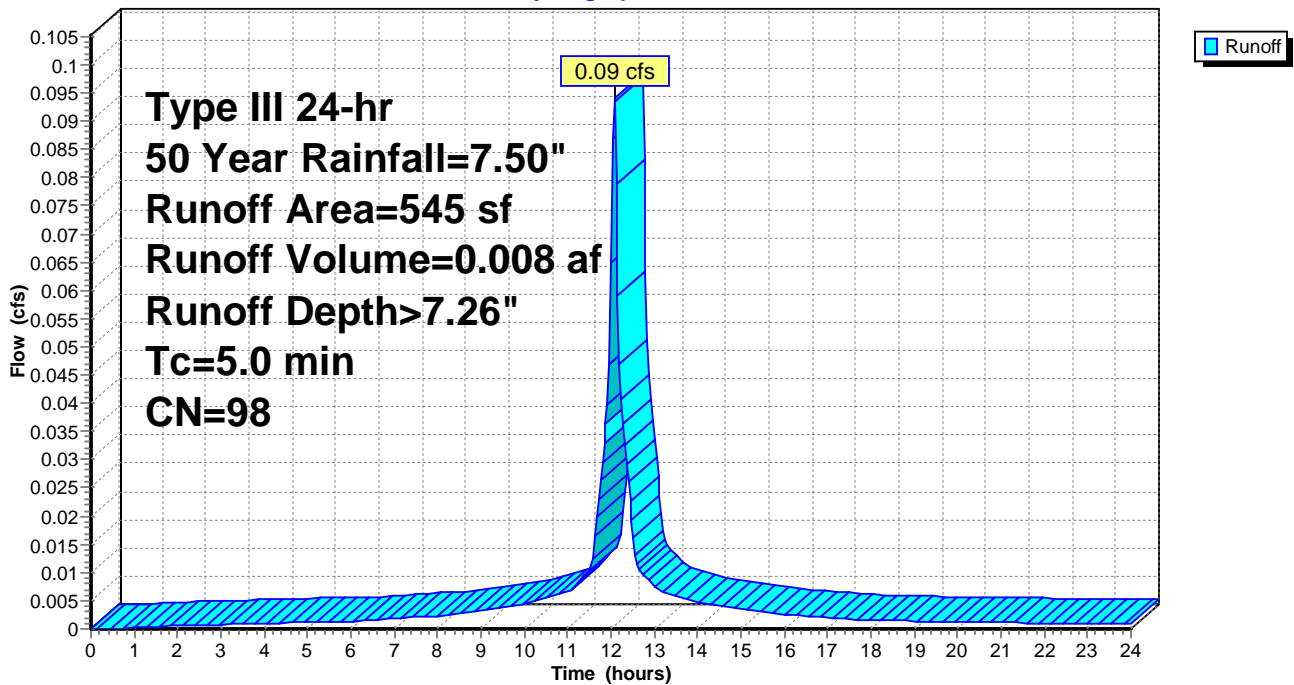
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.04 hrs  
 Type III 24-hr 50 Year Rainfall=7.50"

Area (sf)	CN	Description
* 545	98	Portion of House roof
545		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Direct

**Subcatchment 3S: Areas Routed to Retention**

Hydrograph





**Summary for Subcatchment 4S: Areas not Routed to Retention**

Runoff = 12.80 cfs @ 12.07 hrs, Volume= 0.907 af, Depth> 5.38"

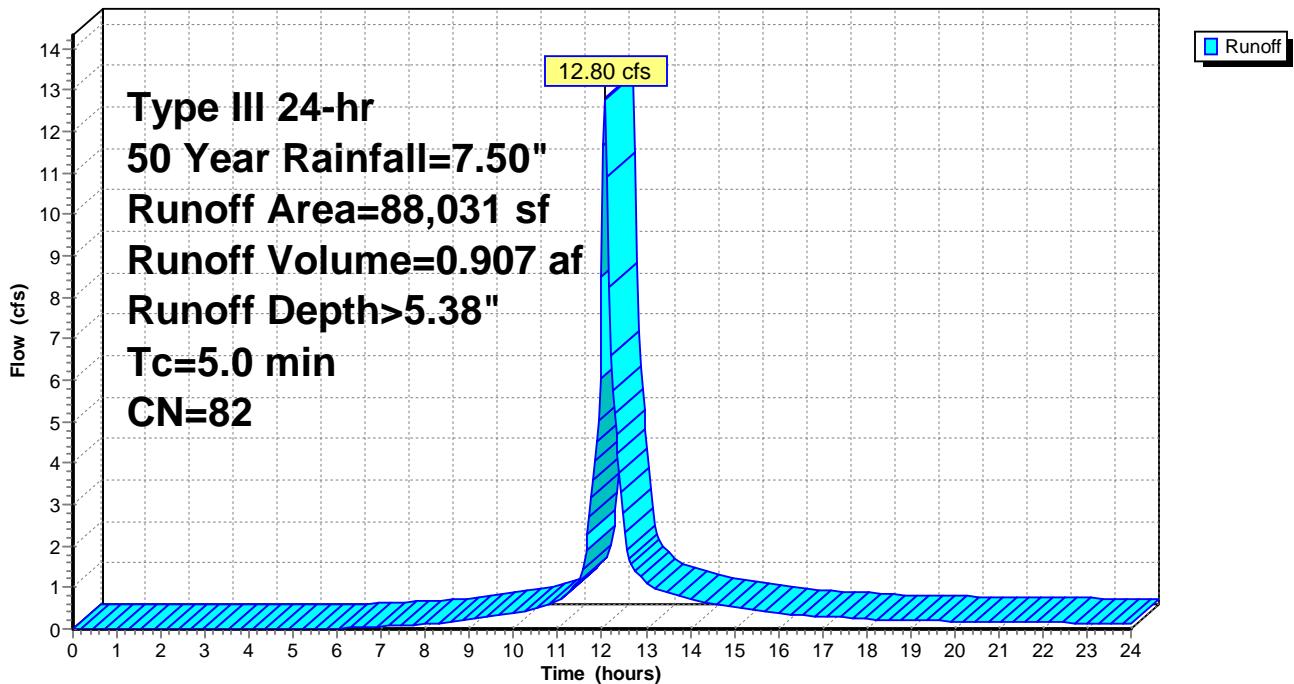
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.04 hrs  
 Type III 24-hr 50 Year Rainfall=7.50"

Area (sf)	CN	Description
* 3,943	98	House
* 6,183	98	Driveway
* 874	98	Patios
* 325	85	Gravel area
* 441	98	Walks
* 880	98	Pool
* 440	98	Patio
74,945	79	50-75% Grass cover, Fair, HSG C
88,031	82	Weighted Average
75,270		85.50% Pervious Area
12,761		14.50% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Direct

**Subcatchment 4S: Areas not Routed to Retention**

Hydrograph



**Summary for Pond 1P: Cultec R-280**

Inflow Area = 0.013 ac, 100.00% Impervious, Inflow Depth > 7.26" for 50 Year event  
 Inflow = 0.09 cfs @ 12.07 hrs, Volume= 0.008 af  
 Outflow = 0.01 cfs @ 11.12 hrs, Volume= 0.008 af, Atten= 93%, Lag= 0.0 min  
 Discarded = 0.01 cfs @ 11.12 hrs, Volume= 0.008 af  
 Primary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.04 hrs  
 Peak Elev= 425.74' @ 13.12 hrs Surf.Area= 98 sf Storage= 122 cf

Plug-Flow detention time= 129.9 min calculated for 0.008 af (100% of inflow)  
 Center-of-Mass det. time= 129.5 min ( 870.2 - 740.8 )

Volume	Invert	Avail.Storage	Storage Description
#1A	424.00'	48 cf	<b>9.83'W x 10.00'L x 2.21'H Field A</b> 217 cf Overall - 97 cf Embedded = 120 cf x 40.0% Voids
#2A	424.00'	97 cf	<b>Cultec R-280HD x 2 Inside #1</b> Effective Size= 46.9"W x 26.0"H => 6.07 sf x 7.00'L = 42.5 cf Overall Size= 47.0"W x 26.5"H x 8.00'L with 1.00' Overlap Row Length Adjustment= +1.00' x 6.07 sf x 2 rows
		145 cf	Total Available Storage

Storage Group A created with Chamber Wizard

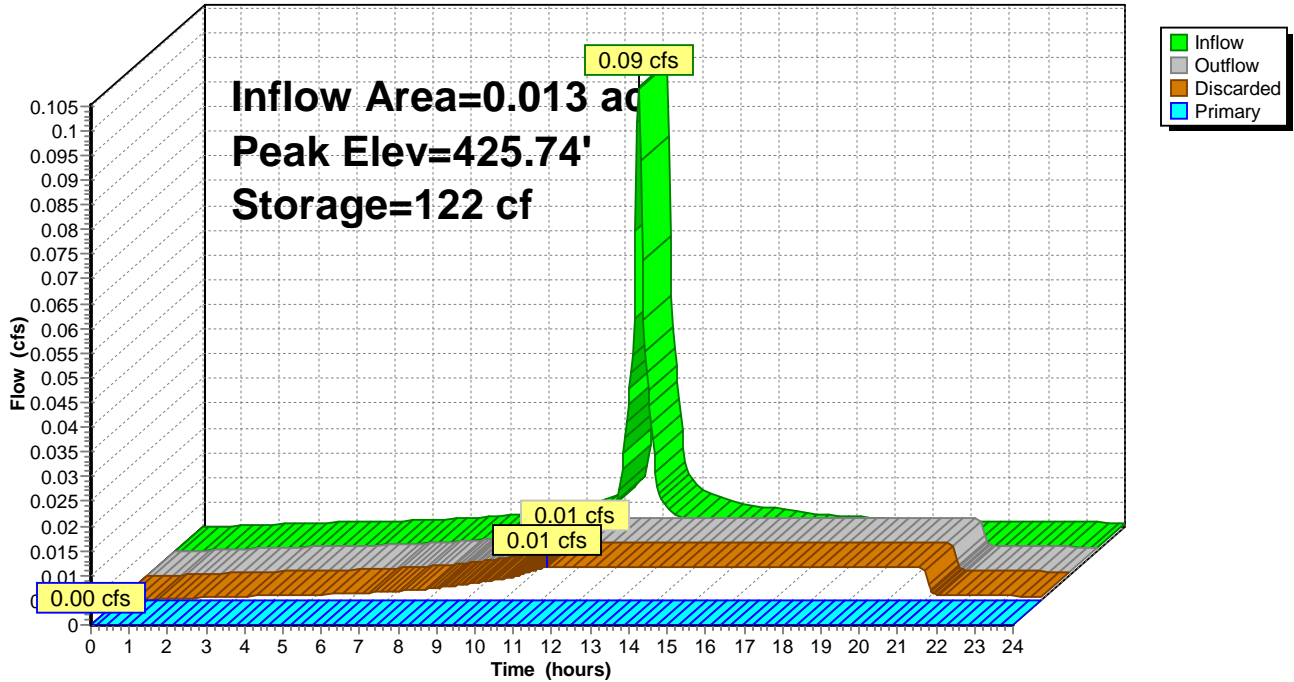
Device	Routing	Invert	Outlet Devices
#1	Primary	426.20'	<b>6.0" Horiz. Orifice/Grate</b> C= 0.600 Limited to weir flow at low heads
#2	Discarded	424.00'	<b>3.000 in/hr Exfiltration over Horizontal area</b>

**Discarded OutFlow** Max=0.01 cfs @ 11.12 hrs HW=424.02' (Free Discharge)  
 ↑**2=Exfiltration** (Exfiltration Controls 0.01 cfs)

**Primary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=424.00' (Free Discharge)  
 ↑**1=Orifice/Grate** ( Controls 0.00 cfs)

### Pond 1P: Cultec R-280

Hydrograph

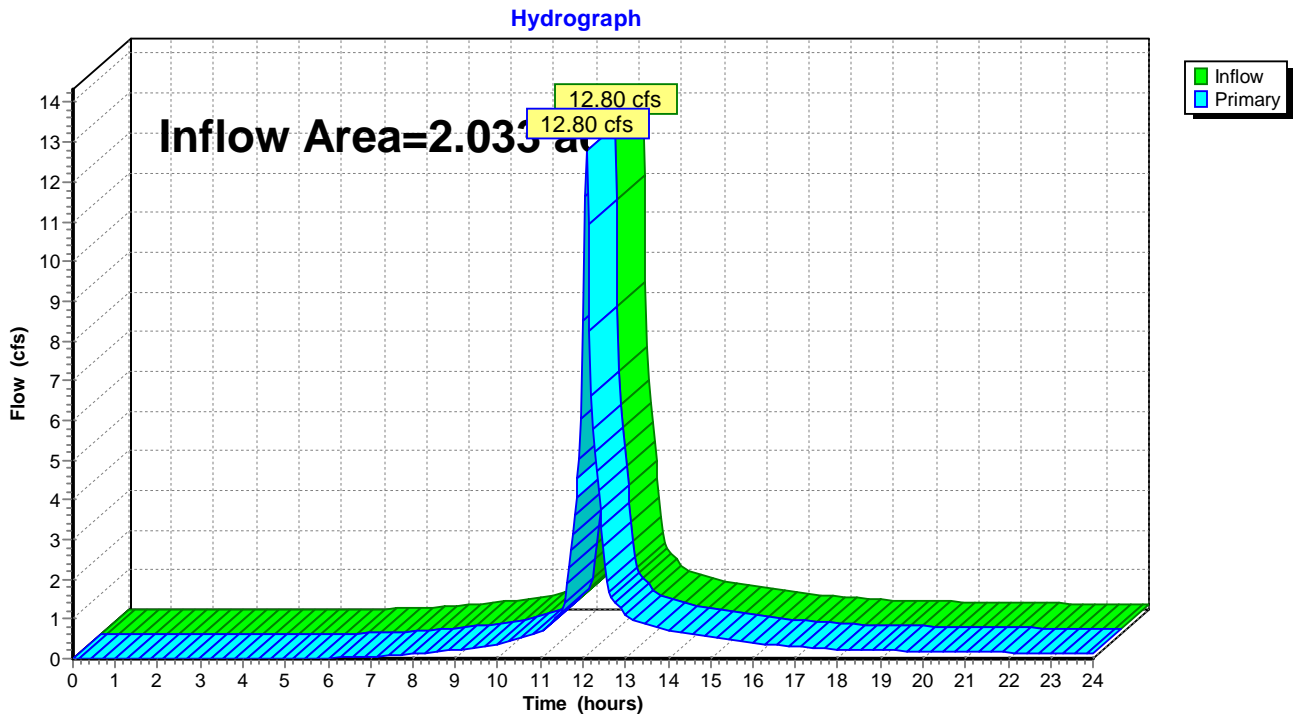


### Summary for Link 1L: Combined Hydrograph

Inflow Area = 2.033 ac, 15.02% Impervious, Inflow Depth > 5.35" for 50 Year event  
Inflow = 12.80 cfs @ 12.07 hrs, Volume= 0.907 af  
Primary = 12.80 cfs @ 12.07 hrs, Volume= 0.907 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.04 hrs

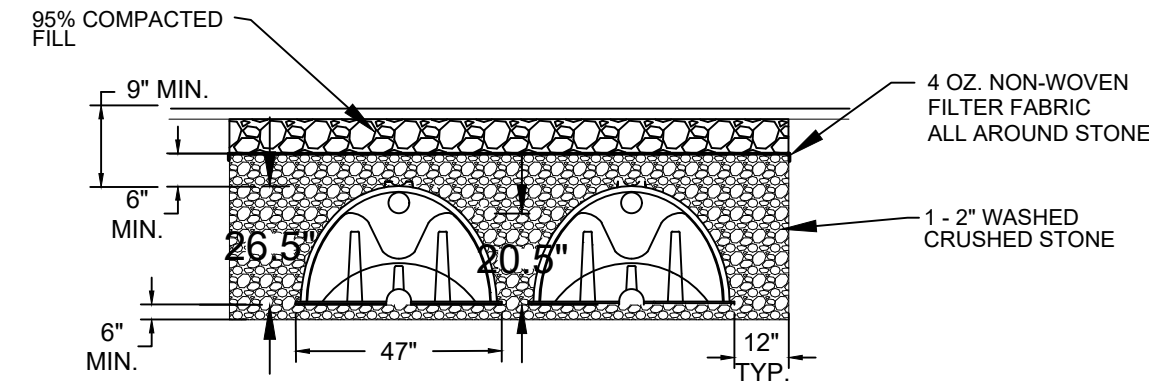
### Link 1L: Combined Hydrograph



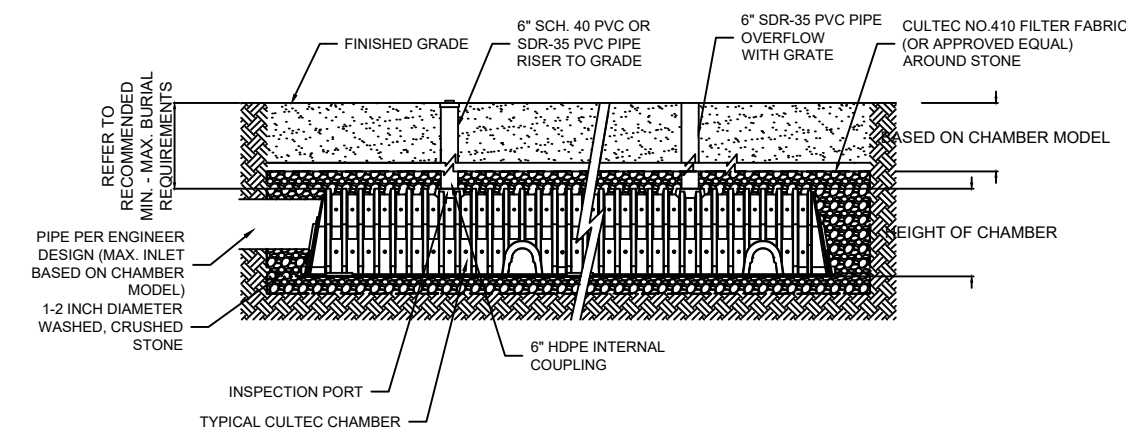
FCE Project #	2224	Date Performed:	7/27/2023
Client:	Joseph Leone		
Location:	20 Hillcrest Lane, Weston		
Observed by:	Wayne D'Avanzo		
Test Hole 1:			
	0-5"	Topsoil	
	5-14"	Brown Silty Loam	
	14-57"	Light Brown Gravel and Sand	
		No Ground Water	
		No Mottling	
		No Ledge	
		Roots to 44"	

Conducted by:	Wayne D'Avanzo	Project:	2224
Location:	20 Hillcrest Lane	Town:	Weston
Client :	Joseph Leone	Date:	7/27/2023
Weather conditions prior to and during tests:	Clear		
Single Lot:	X	Subdivision:	
Diameter of Hole:	8"	Depth of Hole:	23"

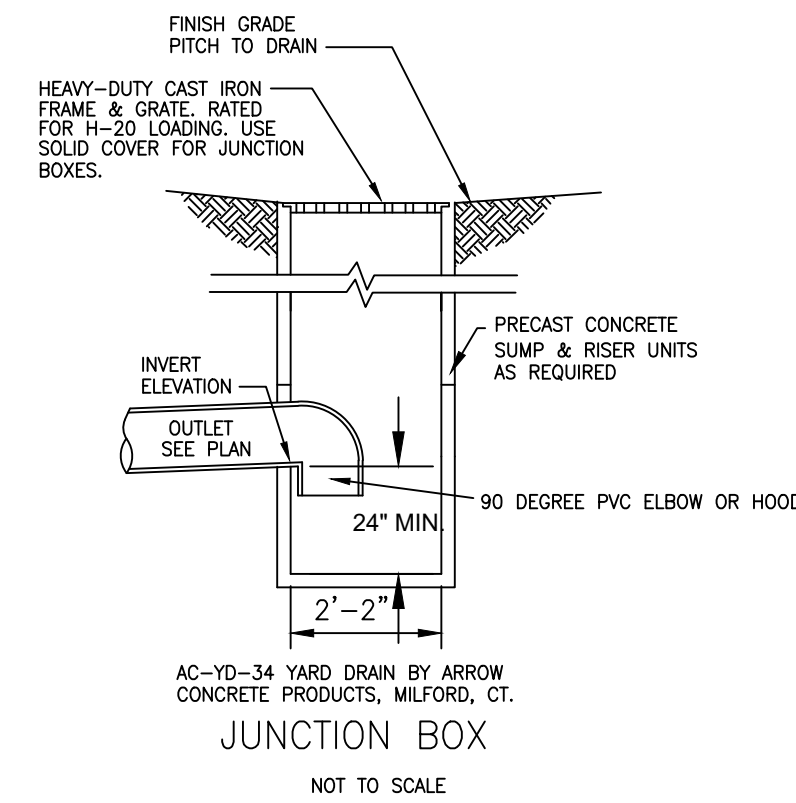
PT-1	Design		
Pre-soak @ 8:30 AM	17/30 Min.		
Time	Time Increment	Depth to Water	Drop in inches
9:30 AM	—	4"	—
9:40 AM	10 Min.	6 1/4"	2 1/4"
9:50 AM	10 Min.	7 3/4"	1 1/2"
10:00 AM	10 Min.	8 3/4"	1"
10:10 AM	10 Min.	9 1/2"	3/4"
10:20 AM	10 Min.	10 1/8"	5/8"
10:30 AM	10 Min.	10 1/2"	3/8"



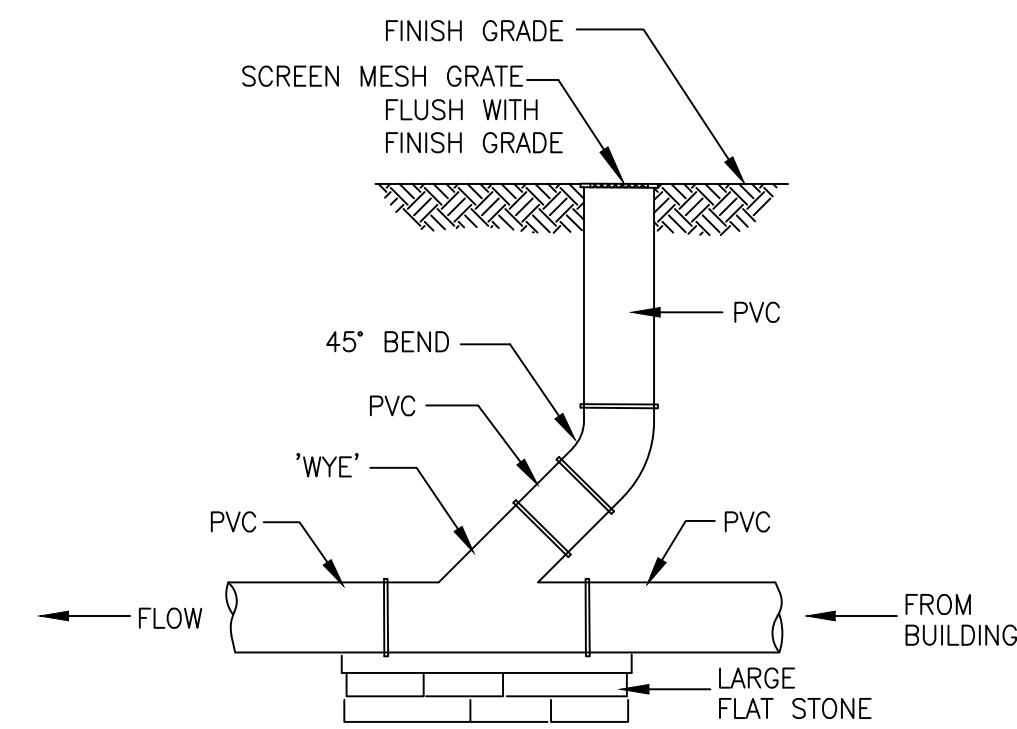
CULTEC RECHARGER 280HD  
TYPICAL CROSS SECTION



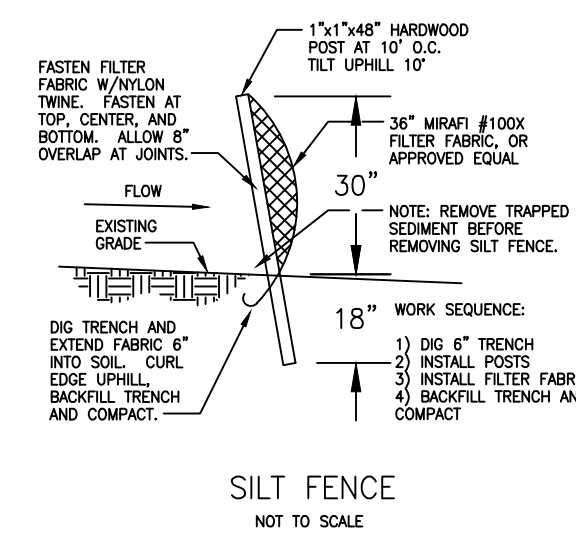
CULTEC INSPECTION PORT AND OVERFLOW  
(AS APPLICABLE)



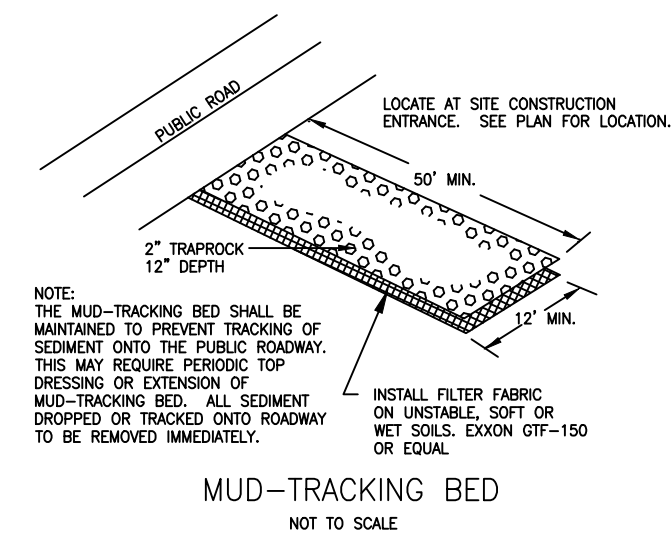
JUNCTION BOX  
NOT TO SCALE



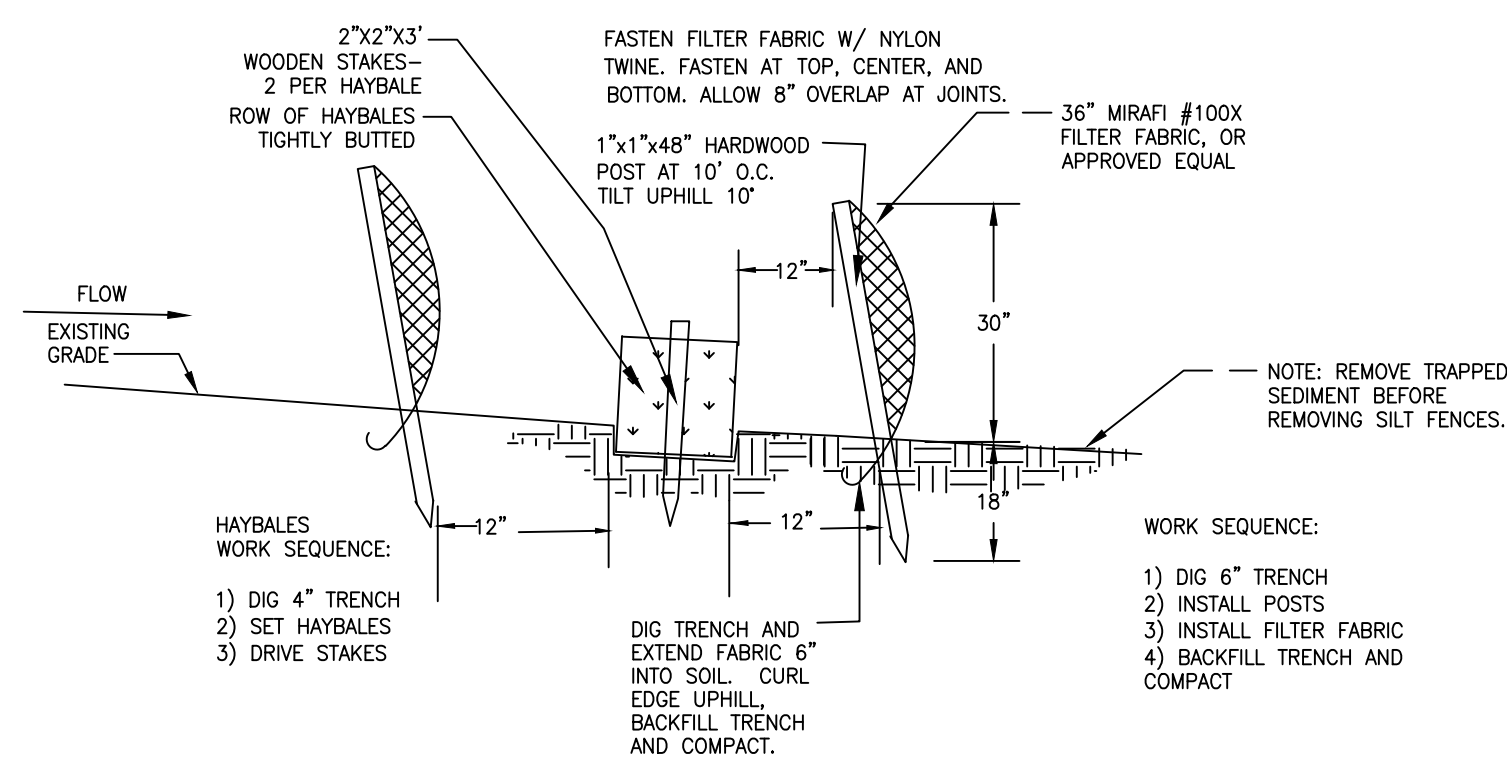
TYPICAL CLEANOUT  
NOT TO SCALE



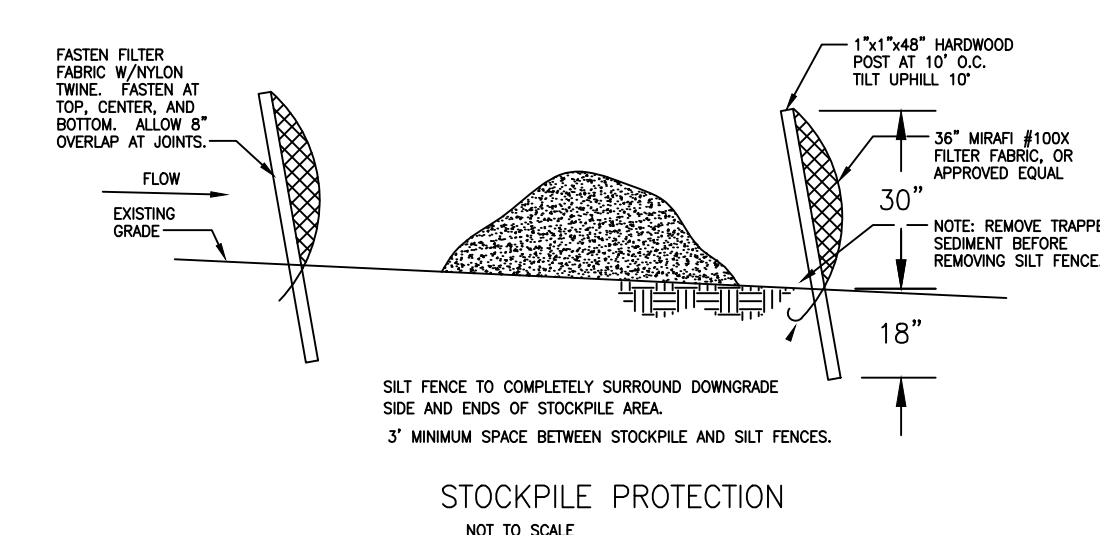
SILT FENCE  
NOT TO SCALE



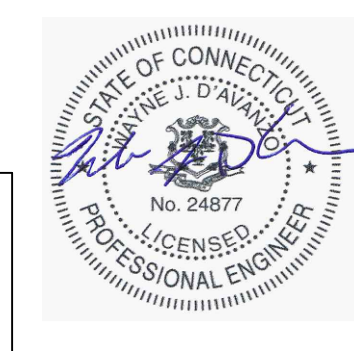
MUD-TRACKING BED  
NOT TO SCALE



DOUBLE SILT FENCE W/HAYBALES  
NOT TO SCALE



STOCKPILE PROTECTION  
NOT TO SCALE



7-24-23 date		JOSEPH LEONE 20 HILLCREST LANE WESTON, CONNECTICUT	
CIVIL ENGINEERS		DETAIL SHEET	
FAIRFIELD COUNTY ENGINEERING L.L.C.		2224 project	
60 WINFIELD STREET, NORWALK, CONNECTICUT 06855 PH: (203) 831-8005 FAX: (203) 831-8006		2 OF 2 sheet	

N/F  
STEPHEN & JULIE LOVE  
18 HILL CREST LANE  
8/1/20

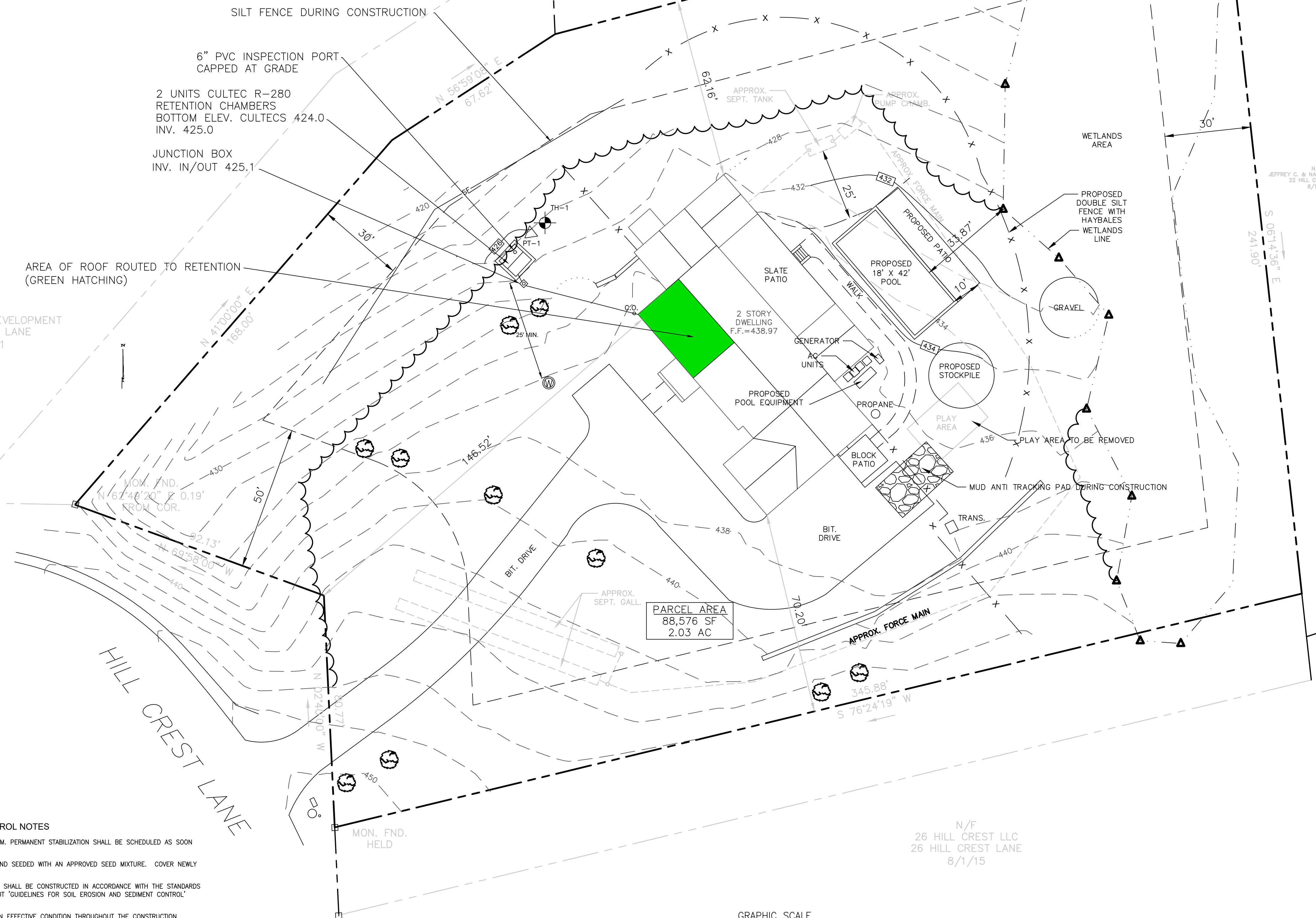
N/F  
SCOTT R. & ERIN M. NILES  
16 HILL CREST LANE  
8/1/17

GENERAL CONSTRUCTION NOTES:

- CONSTRUCTION AND STRUCTURES SHALL COMPLY WITH ALL MUNICIPAL OR STATE REQUIREMENTS. ALL WORK SHALL BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER, TO THE SATISFACTION OF THE ENGINEERING BUREAU, THAT CONSTRUCTION IS IN ACCORDANCE WITH THESE PLANS.
- THE ENGINEERING BUREAU OF THE DEPARTMENT OF PUBLIC WORKS AND THE ENGINEER OF RECORD SHALL BE NOTIFIED THREE DAYS PRIOR TO THE COMMENCEMENT OF EACH PHASE OF CONSTRUCTION.
- NO CERTIFICATE OF CONFORMANCE TO STANDARDS SHALL BE ISSUED BY THE DESIGN ENGINEER IF PROPER NOTICE IS NOT PROVIDED FOR INSPECTIONS OR IF INSPECTIONS ARE NOT MADE PRIOR TO BACKFILLING OF BELOW GROUND STRUCTURES AND APPURTENANCES.
- SUBSURFACE STRUCTURES AND UTILITIES HAVE BEEN DETERMINED FROM EXISTING RECORDS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. IN ORDER TO AVOID CONFLICT OF THE PROPOSED WORK AND EXISTING UTILITIES, THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES BY EXCAVATING TEST HOLES. IF THE CONTRACTOR DETERMINES THAT A CONFLICT EXISTS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER, WHO WILL MAKE THE NECESSARY ADJUSTMENTS.
- EXISTING PROPERTY AND UTILITY INFORMATION WAS TAKEN FROM A SURVEY BY ALL SEASONS LAND SURVEYING TITLED "ZONING LOCATION SURVEY PREPARED FOR JOSEPH AND IRINA LEONE", DATED MARCH 22, 2023.
- THESE PLANS ARE FOR MUNICIPAL OR STATE AGENCY APPROVAL ONLY. NOT FOR CONSTRUCTION.
- NO PIPE SHALL HAVE A BEND OF GREATER THAN 45 DEGREES.
- THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455, OR OTHER APPROPRIATE CONTACT POINT PRIOR TO START OF CONSTRUCTION.
- ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE LOCATION OF THE UTILITIES IN THE FIELD BY WHATEVER MEANS HE DEEMS PRUDENT.
- THIS DESIGN CONFORMS TO APPLICABLE CODES AND ACCEPTED PRACTICE, NO OTHER WARRANTY IS EXPRESSED OR IMPLIED.
- TOTAL SITE AREA = 2.03 ACRES

ALL PIPES ARE TO BE 6" PVC (S=0.01 MIN.) UNLESS OTHERWISE INDICATED.

POOL CONTRACTOR TO SET ELEVATION OF POOL.



N/F  
SINGING OAKS DEVELOPMENT  
HILL CREST LANE  
8/1/21

N/F  
JEFFREY C. & NANCY J. PELLEGRINI  
22 HILL CREST LANE  
8/1/19

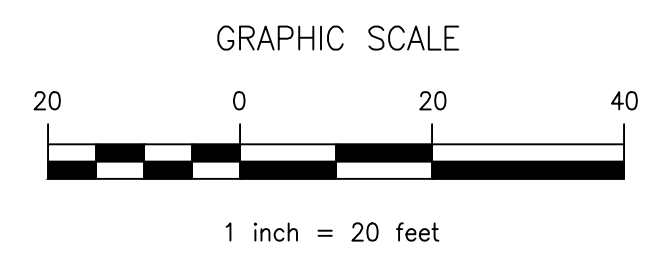
N 88°57'30" W 175.00'  
TO MON. FND. HELD

HILL CREST LANE

PARCEL AREA  
88,576 SF  
2.03 AC

N/F  
26 HILL CREST LLC  
26 HILL CREST LANE  
8/1/15

BRKN. MON. FND.  
S 08°57'12" W 0.28'  
FROM COR.

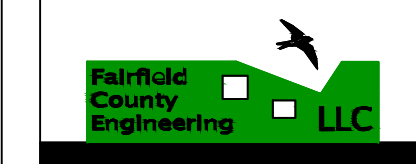


SEDIMENTATION AND EROSION CONTROL NOTES

- LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. PERMANENT STABILIZATION SHALL BE SCHEDULED AS SOON AS FINAL GRADES ARE ESTABLISHED.
- ALL DISTURBED AREAS SHALL BE FINE GRADED AND SEEDED WITH AN APPROVED SEED MIXTURE. COVER NEWLY SEEDED AREAS WITH MULCH HAY OR SALT HAY.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE 2002 CONNECTICUT "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" HANDBOOK.
- ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. CHECK AFTER EACH STORM EVENT.
- ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF REQUIRED BY TOWN AUTHORITIES.
- SEDIMENT DEPOSITS REMOVED FROM FILTER BARRIERS SHALL BE PLACED IN FILL AREAS OR SPREAD WHERE THERE IS PROPOSED VEGETATIVE COVER. ANY SEDIMENT DEPOSITS REMAINING AFTER THE FILTER BARRIER IS REMOVED SHALL BE FINE GRADED AND PLANTED ACCORDING TO PLAN.
- THE SITE CONSTRUCTION CONTRACTOR IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE (AND/OR THE CONSERVATION COMMISSION) OF ANY TRANSFER OF THIS RESPONSIBILITY AND CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED TO A NEW OWNER.



7-24-23  
date



FAIRFIELD COUNTY ENGINEERING L.L.C.  
60 WINFIELD STREET, NORWALK, CONNECTICUT 06855 PH: (203) 831-8005 FAX: (203) 831-8006

<b>JOSEPH LEONE</b>	
20 HILLCREST LANE WESTON, CONNECTICUT	
DRAINAGE PLAN	
CIVIL ENGINEERS	2224 project
1 OF 2 sheet	